



Town Hall Campus Master Plan



Adopted August 14, 2018

Town Hall Campus Master Plan

Introduction:

The Town Hall and adjacent campus occupies approximately 2.4 acres of land in downtown Leesburg and is bordered by Market Street to the north, Loudoun Street to the south, Wirt Street to the west, and the rear property boundaries of the buildings fronting King Street to the east. The site contains the Town Hall, parking garage, vehicle alley connecting Loudoun and Market Streets, and three historic buildings in the southwest corner of the property utilized by the Loudoun Museum. The three-story Town Hall building and adjacent 362 space municipal parking garage were constructed in 1990.

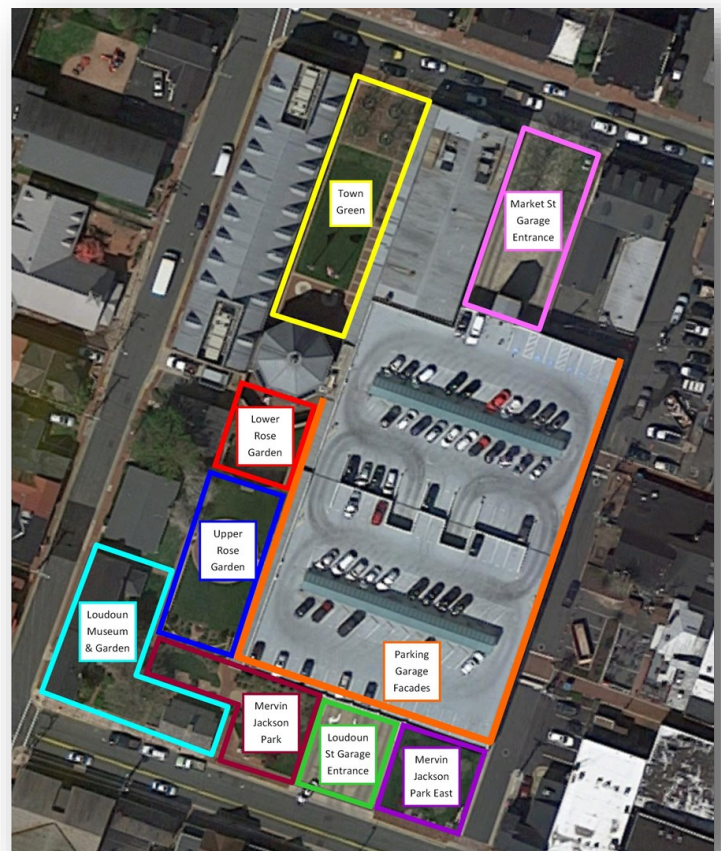
The intent of this document is to serve as a resource to guide Town leaders when making decisions on what future uses and enhancements may be appropriate for the Town Hall campus.

The Plan has divided the campus into nine planning areas.

1. Town Green
2. Market Street Garage Entrance
3. Town Garage Façade and Vehicle Alley
4. Mervin Jackson Park—East Panel
5. Loudoun Street Garage Entrance
6. Mervin Jackson Park—West Panel
7. Loudoun Museum and Garden
8. Upper Rose Garden
9. Lower Rose Garden

Each planning area within this Master Plan includes a Description of the space (how it exists today), its Core Function (its primary purpose), Development Considerations (a narrative discussion on how the space came to be and what enhancements may be appropriate), and Key Features (a bulleted list of enhancements and considerations).

The nine planning areas were identified based on their location and specific function. The Town Hall campus has a wide variety of functions and spaces. The intent of this Master Plan is to create consistency between spaces where possible, such as integrating spaces to provide flow, greater accessibility, and sharing common design elements. The intent is to also minimize duplication of functions to best utilize the limited space available. For example, by designating one area for large gatherings and another area for passive recreation in a garden setting, the campus can accommodate many different public needs.



The Master Plan does not go into specific detail on materials and design, but rather provides a high level overview of the spaces and how they function together to maximize the use of the Town Hall campus. If development of a specific element of the plan is advanced by the Town Council, the Board of Architectural Review would still need to evaluate and approve the specific design. It would be at that time when design details would be decided (e.g., brick color, fountain style, width of stairway).

The Plan was developed with the support of various stakeholder groups and comments from interested citizens. As part of the information gathering process Town staff met with the following groups that have specific interests in downtown Leesburg, and the Town Hall campus in particular:

- Commission on Public Art
- Loudoun Museum
- Historic Downtown Leesburg Association
- Parks and Recreation Advisory Commission

These groups provided valuable perspectives on how their members feel the Town Hall campus should be utilized and enhanced. The Town also provided a virtual forum for the public to provide feedback using the Town's on-line "Leesburg Listens" civic engagement platform.

Town staff consolidated the individual stakeholder comments and held a community input session at Town Hall to share stakeholder group comments and receive additional feedback. While many creative and innovative ideas were suggested, not all were able to be incorporated into the plan. Space constraints, the space's primary function needs, and financial feasibility removed some concepts from further consideration.

Town staff took the results of all public feedback and met with the Town departments that maintain and use these public spaces. Department staff were able to provide feedback on specific needs and maintenance considerations.

Throughout the document there are artistic renderings that provide examples of how spaces could be configured. These illustrations have not been approved by the Town Council or the Board of Architectural Review, and serve only to provide illustrative examples of possible enhancements. Each planning area has a plan view drawing (not to scale) that shows the proposed general configuration of the space. These drawings are intended to be used as starting points for future discussion on enhancements.



Town Green

Planning Area #1

Description: Town Green faces onto West Market Street and is surrounded by the Town Hall and the Tally Ho Theater. A permanent stage was constructed in 2016. This area is a public gathering area for events like the Acoustic on the Green summer concert series and the annual Christmas Tree & Menorah Lighting Ceremony.

Core Function: The Town Green serves as the primary outdoor public gathering space for the Town Hall campus. Any future enhancements must take into account the need for significant open space to accommodate large gatherings.



Development Considerations: The Town Green was constructed as part of the Town Hall development and was opened to the public in 1990. The four honey locust trees and surrounding hardscaped area close to the West Market Street frontage were installed at that time. After years of growth, the health of these trees are on the decline. In the past several years significant pruning has been required to remove dead limbs. It is expected that these trees will need to be removed within the next several years. The hardscape area surrounding the trees has been impacted by the tree growth. Tree roots and ground settling has caused the bricked area to be uneven and annual maintenance is required to reduce tripping hazards.

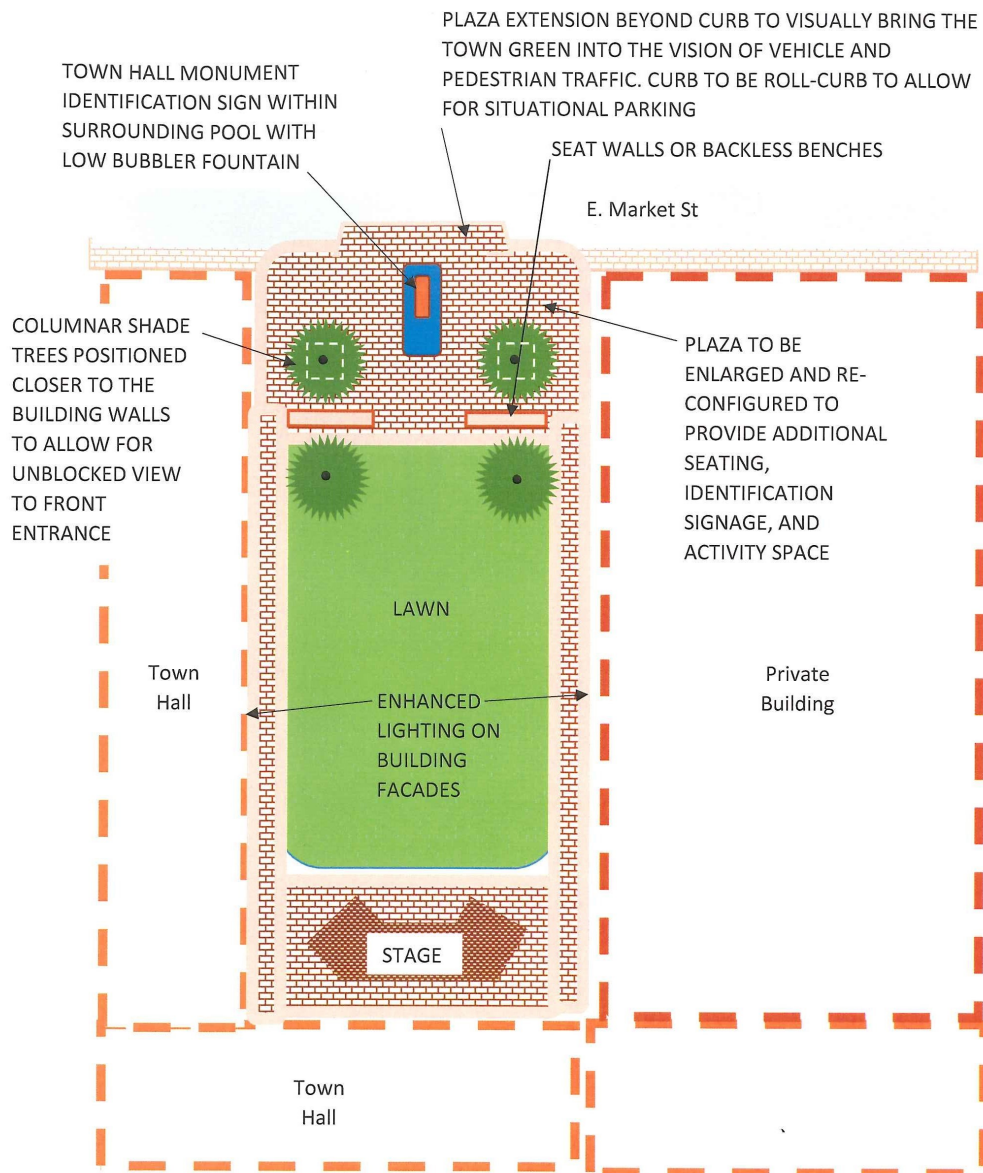
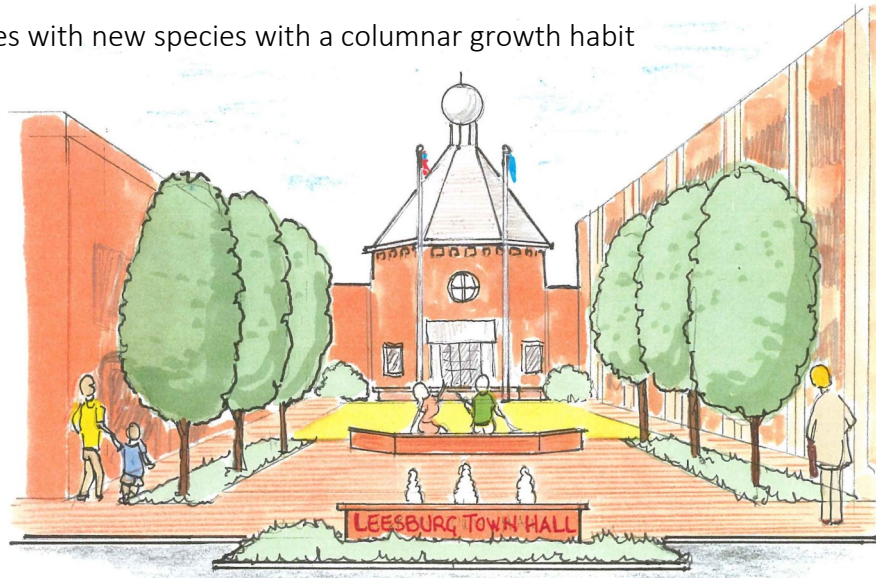
The general location of the hardscape areas should be maintained, however new landscaping options should be considered, including large trees without surface roots that impact the hardscape area. New signage near Market Street should be considered to identify the Town Hall. This signage could be incorporated with a decorative water feature to enhance the area. Because the public often shares how the Town Hall/Green is hard to locate, consideration should be given to pushing the Green out into Market Street. Interrupting the curb line of the street would draw attention to this space.

The Town Green provides the primary view to the most significant architectural element of the Town Hall, the brick octagon tower. Any future modifications to the Green must be designed in such a way as to not obstruct or detract from this elevation. To accentuate the architectural details of this area, additional exterior illumination projected on the Town Hall should be considered.

Key Features:

- Maintain as a large gathering space
- Ensure view of Town Hall octagon tower is unobstructed
- Add signage (with possible water feature) close to Market Street to identify the site
- Redevelop hardscape near Market Street

- Add up-lighting on Town Hall to accentuate architecture
- Replace aging trees with new species with a columnar growth habit



Map not to scale

(illustrative only – not approved for construction)

Market Street Garage Entrance

Planning Area #2

Description: This entrance to the Town Hall Parking Garage from West Market Street has three vehicle lanes, (one in, two out), automated ticket/pay stations and gates, two deciduous trees (European Hornbeam) in a landscaped curbed island, flower planters, and four street lamps.

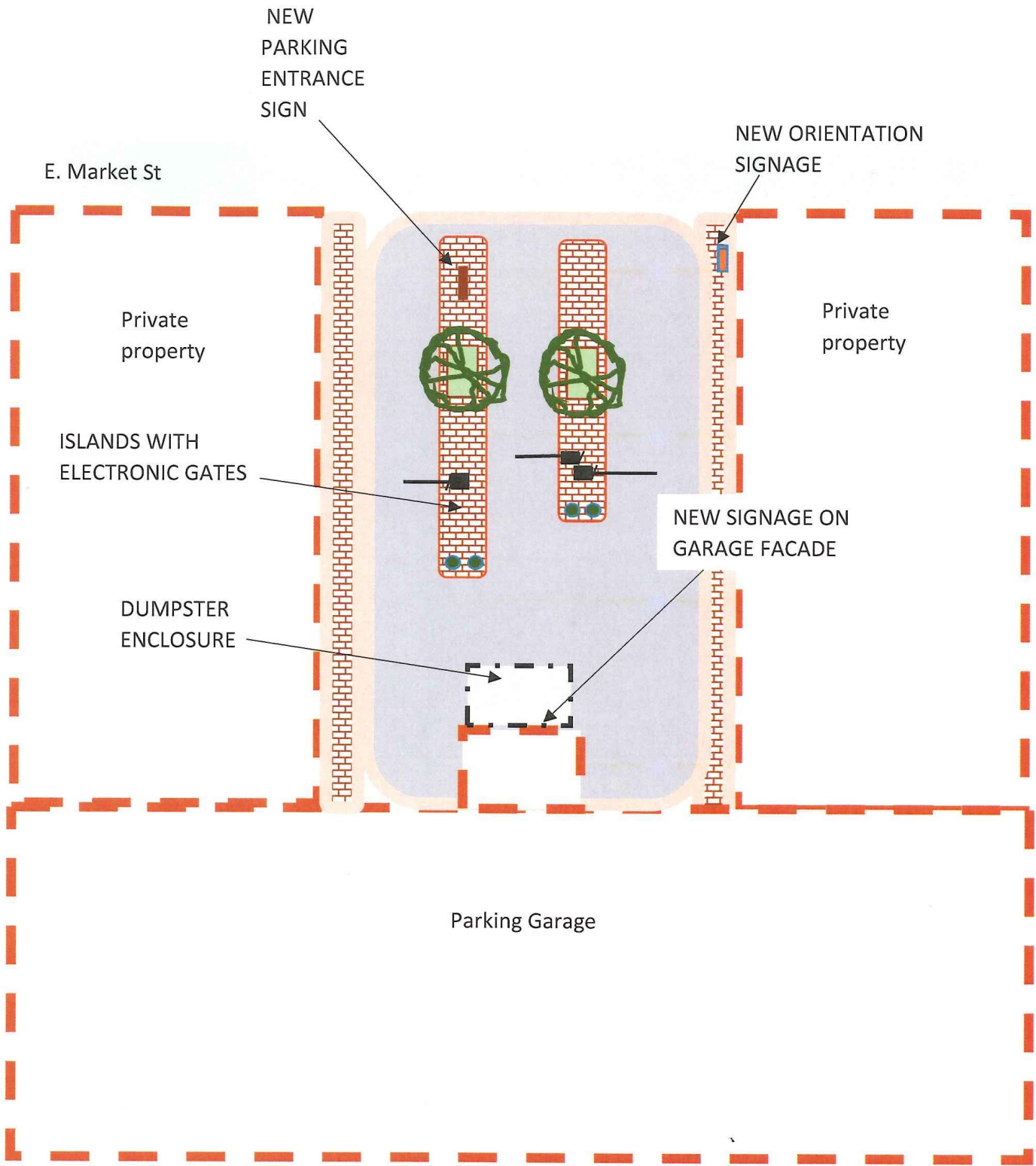
Core Function: Provide vehicular and pedestrian access to the Town Garage from West Market Street.

Development Considerations: There is limited opportunity for modifications to this area due to the lack of space for additional enhancements. Both buildings that border this space to the east and west are privately owned. In 2018, the Town upgraded the garage payment systems to provide full automation. As part of this conversion, the existing payment booths and existing trees were removed and the equipment islands were reconfigured. Because of increased utilization of the Town's garage, and the need for redundancy of payment processing at the gates, all travel lanes remain operational. Additional signage and should be considered to increase driver awareness of the public parking, lane directions and the need to yield to pedestrian traffic. It is recommended that the concrete area of the center lane nearest the garage be modified to include an enclosed space for trash containers. A communal dumpster location in this section of downtown would help mitigate trash storage demands of nearby businesses.

Key features:

- Welcoming signage for garage wall and bricked entry island
- Location for shared-use dumpster enclosure next to garage wall





Map not to scale

(illustrative only – not approved for construction)

Parking Garage Façade and Alley

Planning Area #3

Description: The parking garage has four facades: facing Market Street, facing the Rose Garden, facing Loudoun Street, and facing the alley.

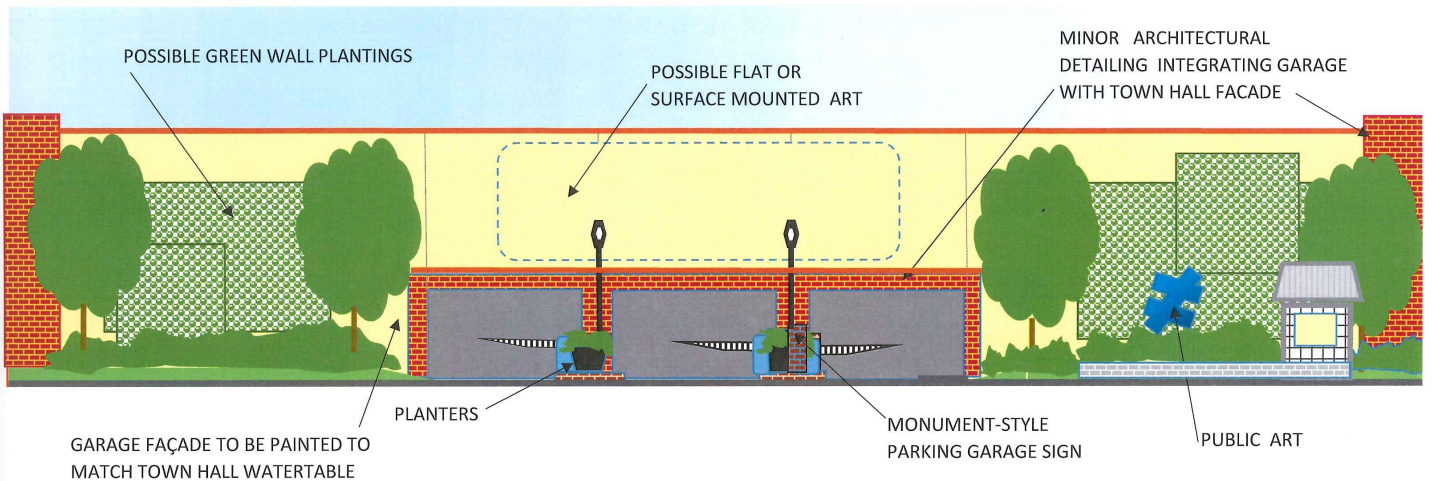
Core Function: Structural elements of the parking garage and vehicular alley that provides traffic flow from Loudoun Street to Market Street that runs parallel with South King Street.

Development Consideration: Three of the four garage elevations were constructed with enhanced architectural details including brick, columns, and recessed areas. Only the south facing wall nearest Loudoun Street was not finished. The original design of the parking garage included plans to construct buildings between the garage wall and Loudoun Street. Because of this plan, no finished architectural elements were installed on the south garage wall. Improvements for the wall could include murals, brick and column details seen on the other elevations, water features, green walls, or a combination of several of these elements. There was strong public feedback that more consideration could be given to how the alley adjacent to the garage is utilized for public events. Any future improvement to the alley or east parcel of Mervin Jackson Park (Planning Area #4) should incorporate elements that better connect the two spaces.

Key Features:

- Improvements to Loudoun Street elevation (mural, hanging garden, replicate decorative elements from other facades to provide visual consistency)
- Public art opportunities along the elevation fronting the alley
- Improved directional signage for the vehicle alley
- Designated wall space on Loudoun Street wall for special event signage
- Welcome / Public Parking signage located on the walls near the entrance to the garage
- Consider ways to better utilize the vehicle alley for public events (art shows / farmers markets)
- Consider enhancements to the top of the garage that would provide shade to vehicles and solar power generation.
- Improvements to the alley should incorporate ways to improve the connection with the east parcel of Mervin Jackson Park (planning area #4)





View from West Loudoun Street

Note: Architectural detailing and flat/surface mounted art should extend through the east (alley) side of the garage façade.

Map not to scale

(illustrative only – not approved for construction)

Mervin Jackson Park—East Parcel

Planning Area #4

Description: This portion of Mervin Jackson Park on the east side of the Loudoun Street entrance to the parking garage currently consists of minimal landscaping, a park bench, and a bicycle storage rack. While officially part of Mervin Jackson park, this space provides more development flexibility than the west parcel of the park.

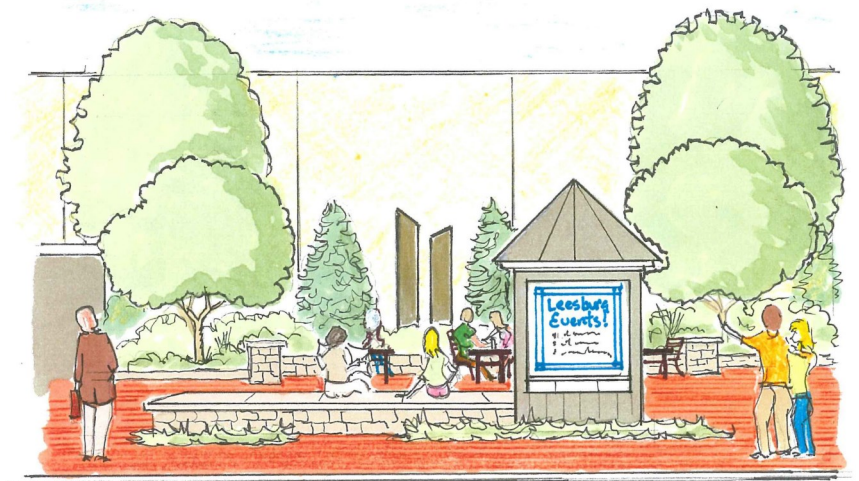
Core Function: The space currently serves as a passive park. The area is used seasonally for holiday decorations and for special events such as art shows and First Friday.



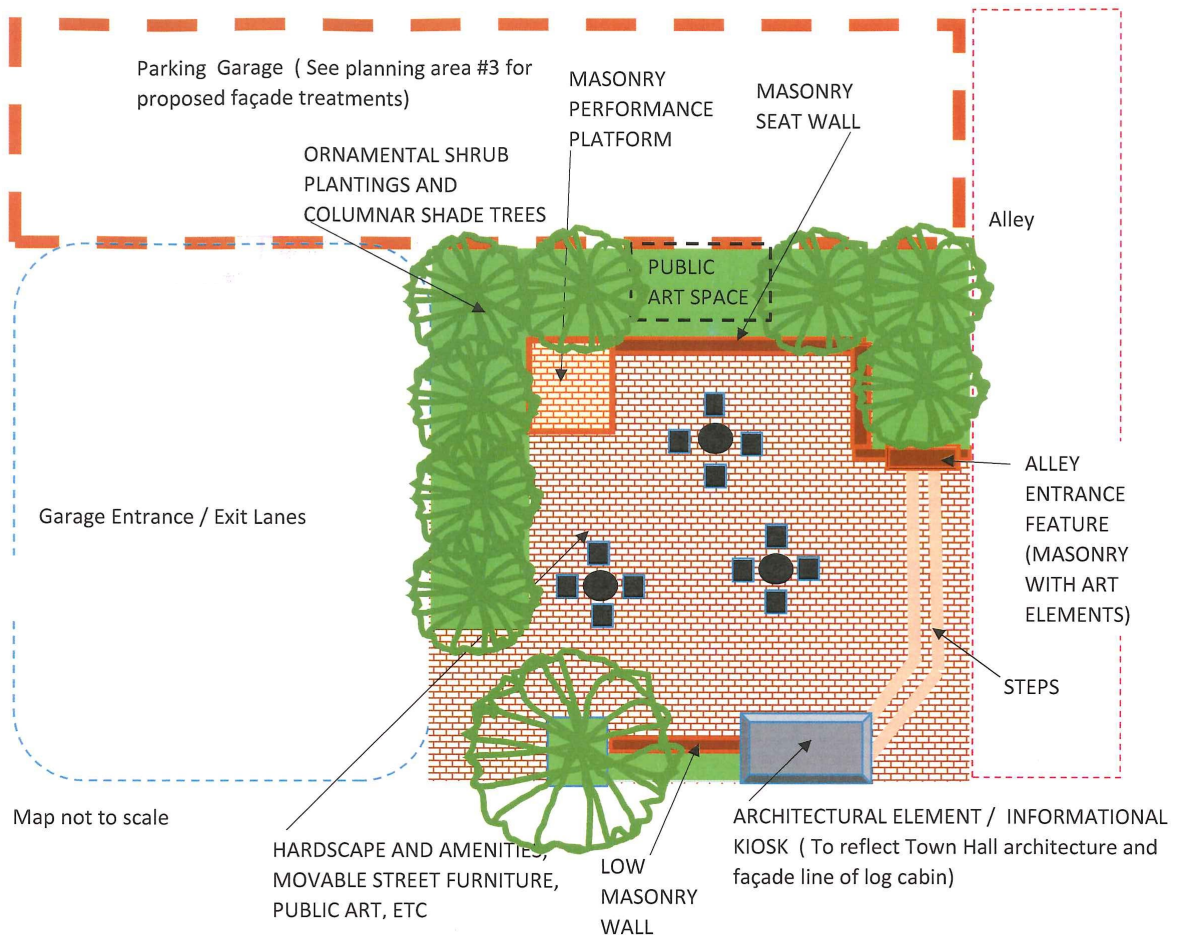
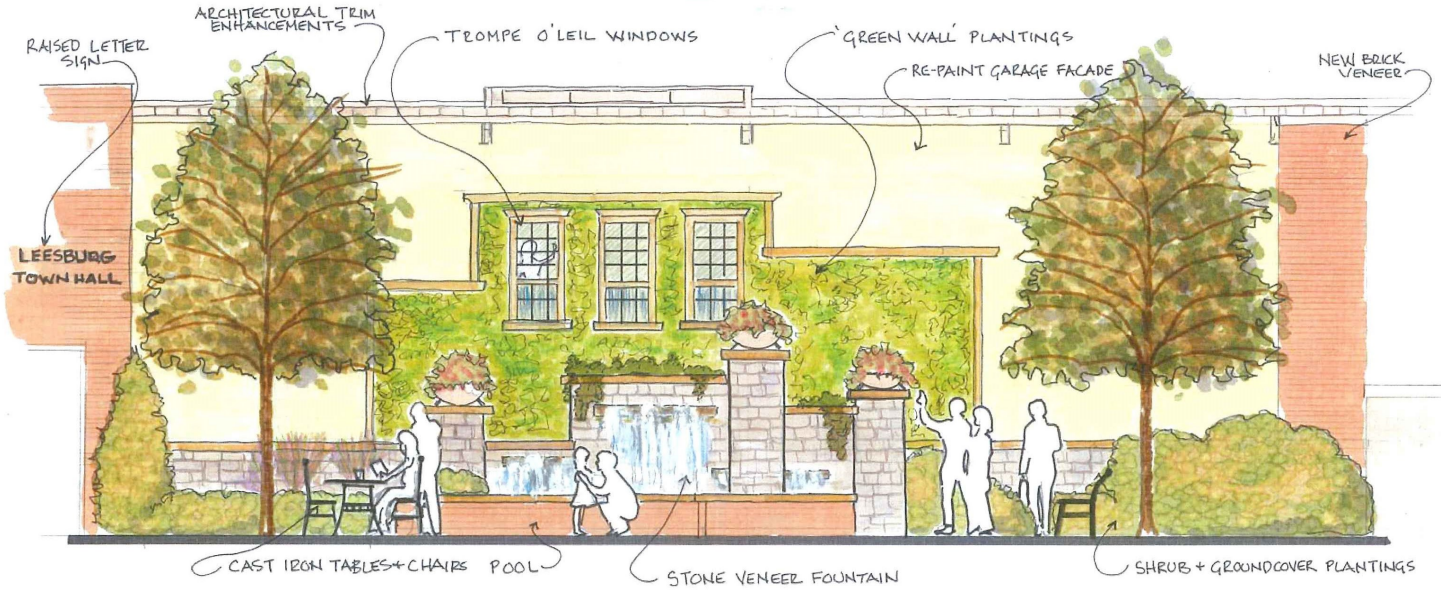
Development Consideration: This space along Loudoun Street is highly visible and the least developed of any of the campus planning areas. An interactive water feature was previously planned for this space, but design, space, and safety concerns prevented the project from moving forward. With its desirable location near many shops and restaurants, this space is recommended to be used as a public plaza-style gathering area. With movable furniture and flat surface, the space could serve as a casual gathering space as well as a performance or event area. Every effort should be made to integrate the development of this parcel with the vehicular alley to the east (Planning Area #3). Bridging the two spaces with enhanced lines of sight along with ease of access between the alley and this planning area will allow for more comfortable pedestrian flow and more efficient use of the spaces during special events.

Key Features:

- Creation of a large plaza-style gathering space
- Welcome/informational kiosk for visitors to the downtown
- Movable furniture with umbrellas
- Space for three dimensional public art
- No interactive water feature
- Consideration should be given to a water feature such as a fountain or water wall
- Stone wall similar to what is located near the museum building to separate plaza space from Loudoun Street sidewalk



- Regrading to level the site and minimize transitions and retaining wall size
- Increased facilities for bicycle storage
- Power receptacles for special events
- Clear pedestrian access to the alley



(illustrative only – not approved for construction)

Loudoun Street Garage Entrance

Planning Area #5

Description: This entrance to the Town Hall Parking Garage from Loudoun Street is flanked by the two parcels of Mervin Jackson Park and has three vehicle lanes (two out, one in).

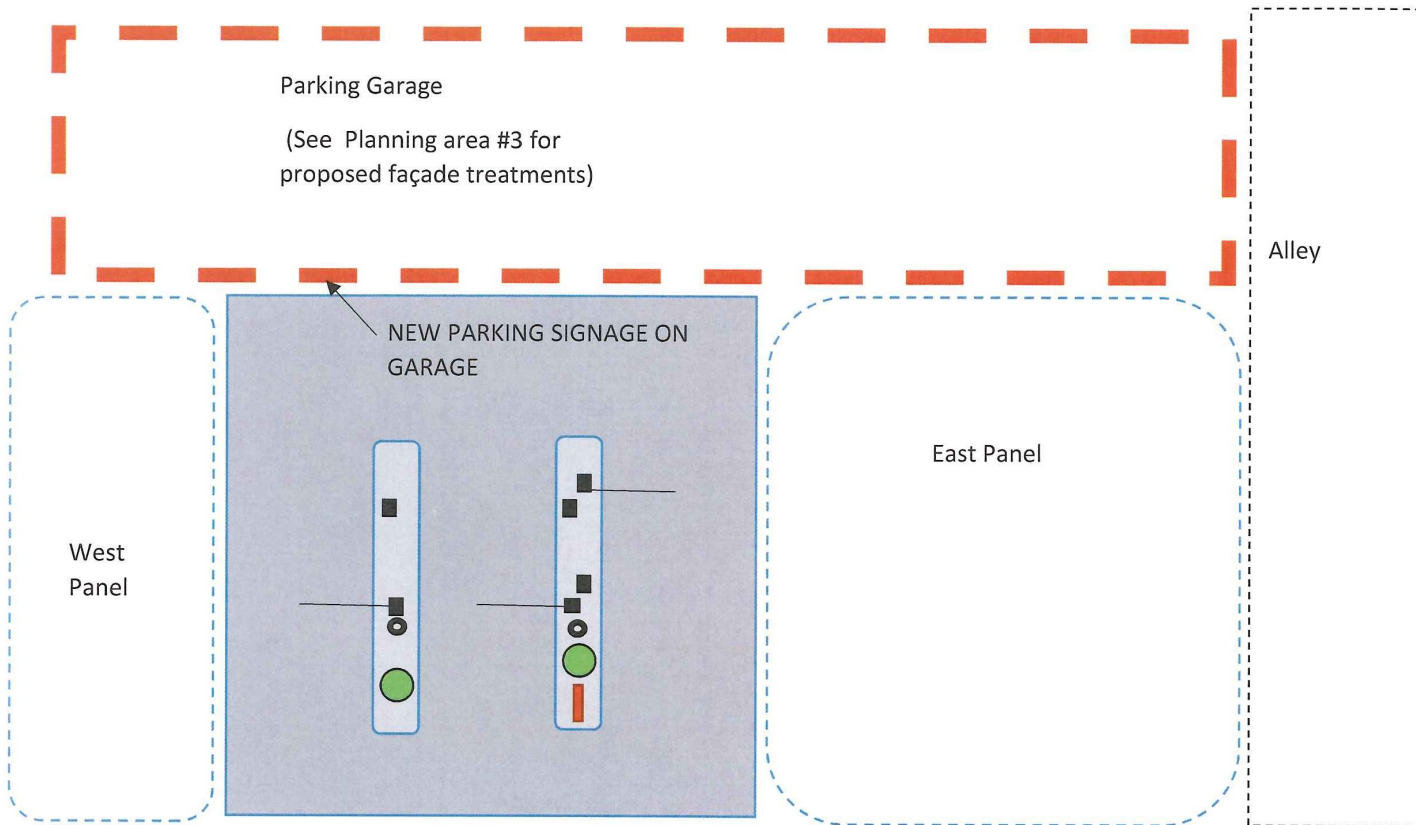
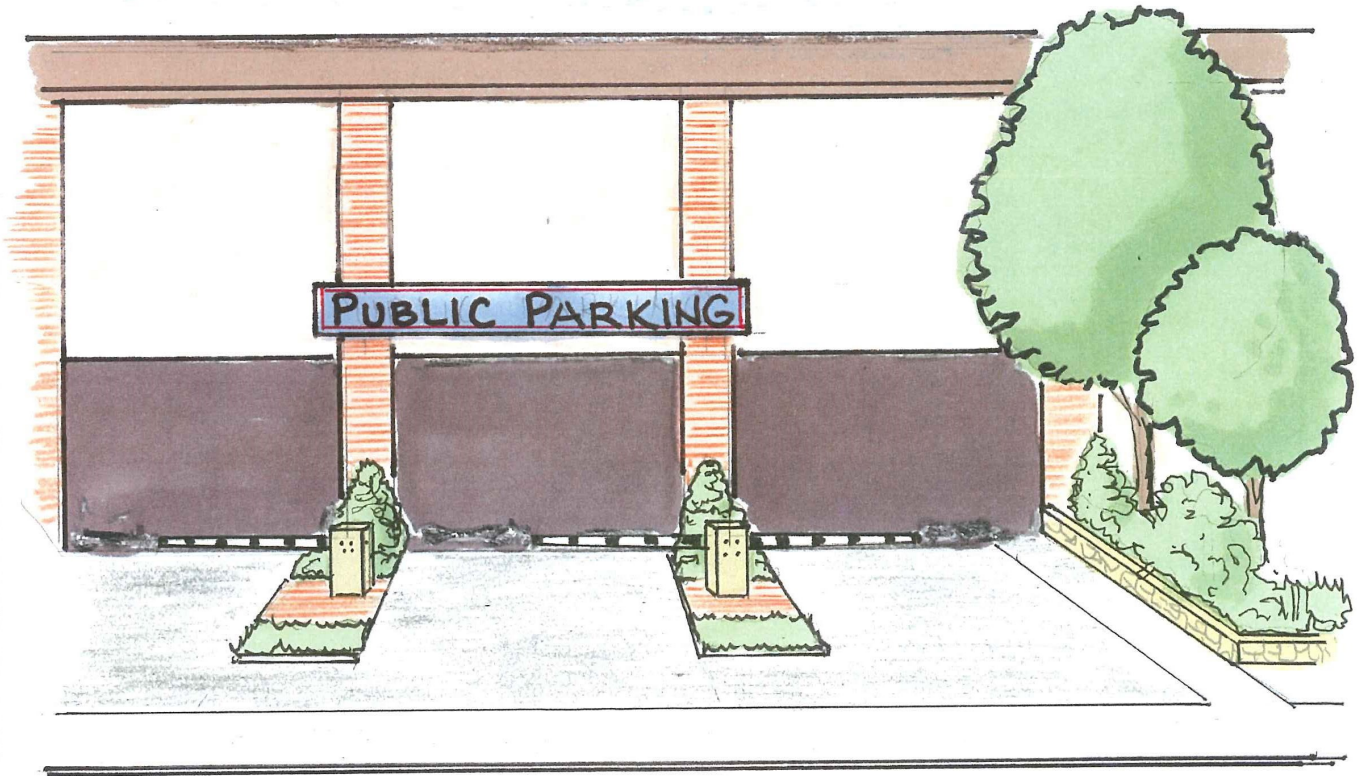
Core Function: Provides vehicular and pedestrian access to the Town Garage from Loudoun Street.

Development Consideration: The Loudoun Street garage entrance currently is configured with a single entrance lane into the garage for all vehicles. There are two exit lanes, one for left-turning (east-bound) traffic and one for right-turning (west-bound) traffic. Improvements including the installation of the automated payment system in 2018 now allow the Loudoun Street exits to be used by all garage patrons, not just monthly pass holders. Suggestions were made to close this garage access point to make the adjacent park space more pedestrian friendly. Due to the traffic demands of the garage and the need for garage access flexibility and redundancy, especially during special events with street closures, this entrance is recommended to stay open. Because of increased traffic in the downtown, and the potential added delay in the payment processing system at the gates, it is further recommended that both exit lanes remain operational. Additional signage could be added to increase driver awareness of the public parking, lane directions, and the need to yield to pedestrian traffic.

Key Features:

- Welcome signage for garage wall and bricked entry island
- Maintain all three vehicle lanes





Map not to scale

(illustrative only – not approved for construction)

Mervin Jackson Park—West Parcel

Planning Area #6

Description: Mervin Jackson Park is a designated Town Park within the Department of Parks and Recreation. The space includes formal landscaping, seating areas, and an ADA and pet-accessible drinking fountain. Any alteration to the existing park space would need to be reviewed by the Town’s Parks and Recreation Advisory Commission.

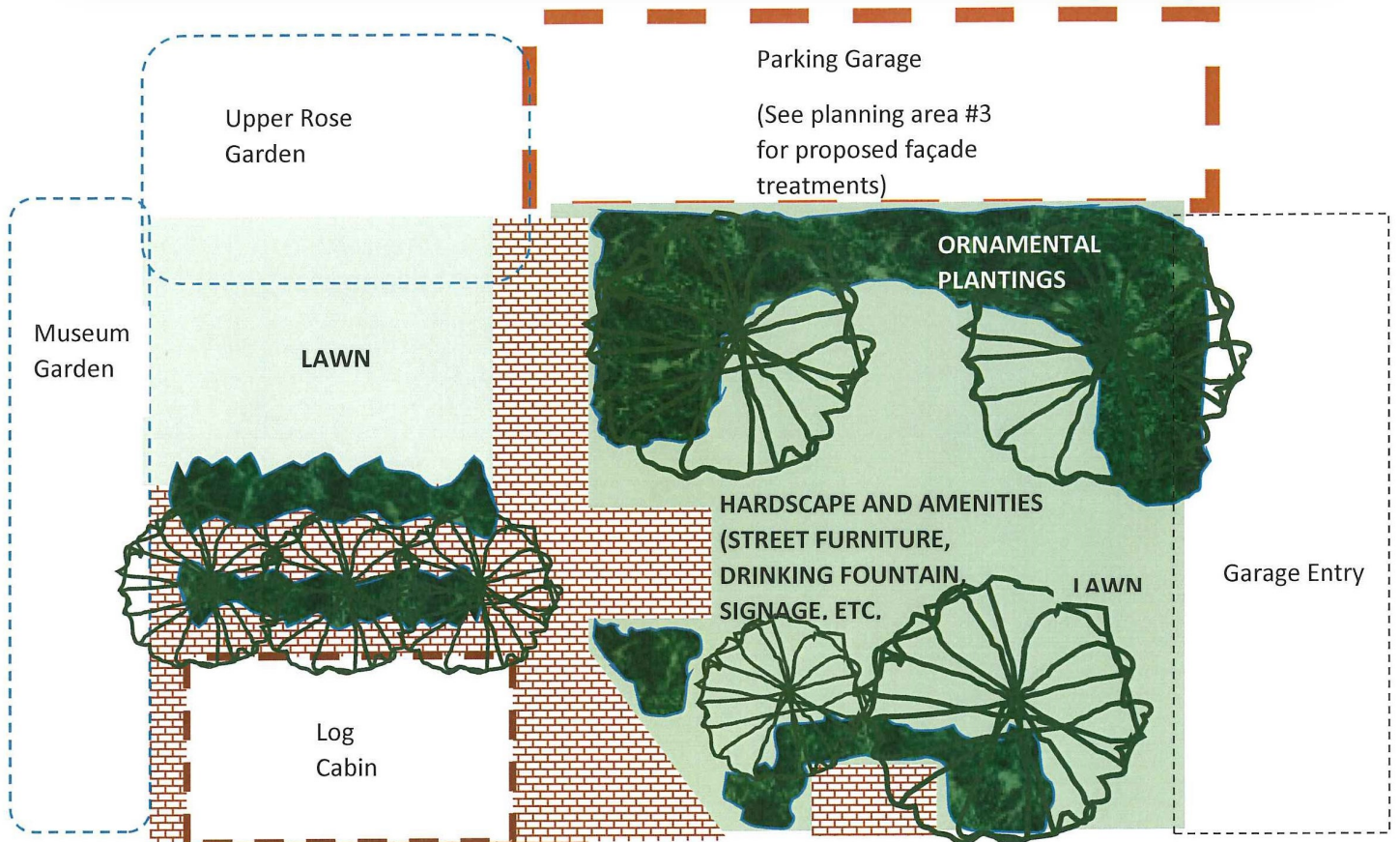
Core Function: The park space functions as a passive park that is frequented by visitors to the downtown. The park provides a beautifully landscaped buffer between the parking garage and Loudoun Street. During the holiday season, this area is decorated with lights and other seasonal elements.

Development Consideration: Mervin Jackson Park was dedicated in the spring of 2015. The park was dedicated to the memory of Mervin Jackson, who served on the Town Council from 1999 to 2004 and as Vice Mayor from 2002-2004. The wishes of the Jackson family was for the Town to create a passive park that reflected the understated demeanor of Mr. Jackson. With that in mind, the park was developed with benches for quiet enjoyment of the beautiful landscaping and hardscaping. The space has been fully developed and no additional modifications are recommend.

Key Features:

- Maintain existing passive park design
- Incorporate small scale public art where appropriate





Map not to scale

(illustrative only – not approved for construction)

Loudoun Museum and Garden

Planning Area #7

Description: This area consists of the Town-owned buildings (the log cabin and the two buildings at the corner of the Loudoun and Wirt Streets) occupied by the Loudoun Museum and the garden in between them. The landscaped space includes hardscaped sidewalks and various planting beds and shrubbery along with historic markers.

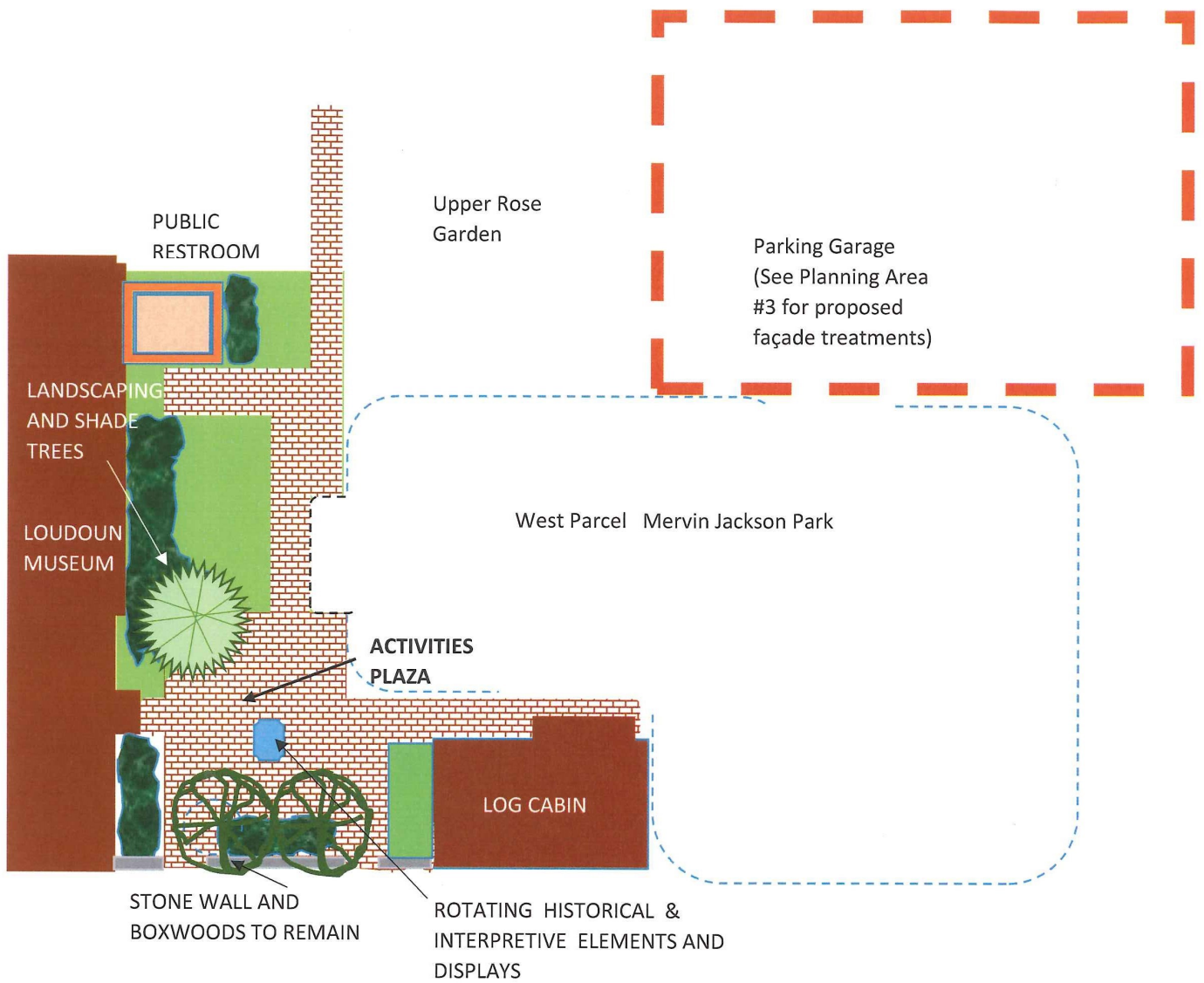
Core Function: This space provides an attractive buffer along Loudoun Street and its benches and landscaping provide a welcoming rest area for downtown visitors. The space supports the operations of the museum.

Development Consideration: The open space surrounding the museum buildings benefits from high visibility from Loudoun Street and provides a buffer between the sidewalk/street and the Upper Rose Garden. To better serve the programming needs of the museum, it is recommended that the area adjacent to the Loudoun Street sidewalk be reconfigured to provide more flexible meeting space for large groups. The space would then be viable for activities such as history demonstrations and displays, group tour gatherings, and special events and fundraisers. The Town Hall campus would benefit from a public restroom independent of the Town Hall. It is recommended that restroom facilities be constructed as part of or in addition to the museum building bump out where the existing museum restroom is located.

Key Features:

- Large plaza space to allow for flexibility in use. Uses may include museum programming and displays, Town special events, and art displays.
- Removal of the ginkgo tree (due to location and unpleasant smelling fruit)
- Electrical outlets for special events
- Lighting to enhance landscaping and promote safety
- Public restroom to be located in the small bump-out addition on the rear of 20 Wirt Street.





(Map not to scale)

(illustrative only – not approved for construction)

Rose Garden—Upper Level

Planning Area #8

Description: This space is a formalized garden with several seating areas. It provides pedestrian connections to Mervin Jackson Park, the parking garage, Wirt Street, and the Town Hall.

Core Function: The garden space as it exists today was dedicated in 2010 to the memory of Bob Lilly, a 32 year employee of the Town. Following the wishes of his family, the Town developed a passive park space with formal landscaping and hardscaping to be used by the public for small gatherings and relaxation.

Development Consideration: The intended use of this space was for relaxation and quiet enjoyment. The Town has made a significant investment in hardscape, landscaping, and irrigation. No significant modifications are recommended.

Key Features:

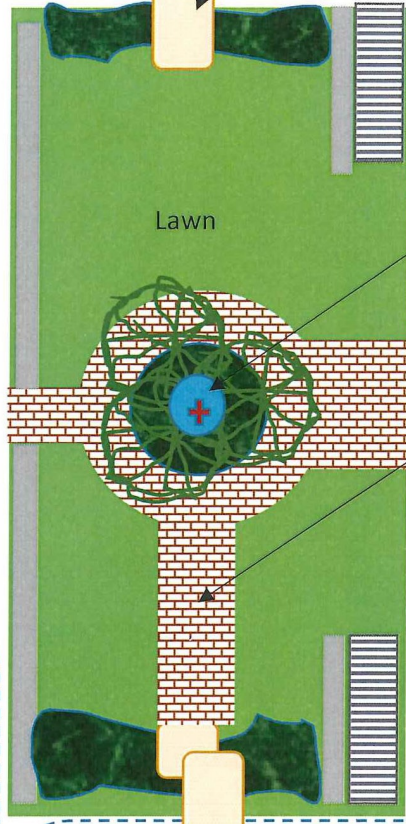
- Additional power for special events
- Landscape lighting
- Improved transition between Mervin Jackson Park and this space
- Improved transition between this space and the Lower Rose Garden
- Consideration for a fountain or three dimensional public art to be located within the existing landscape circle at the center of the garden space.



IMPROVED ACCESS
BETWEEN UPPER AND
LOWER AREAS



Private
Property

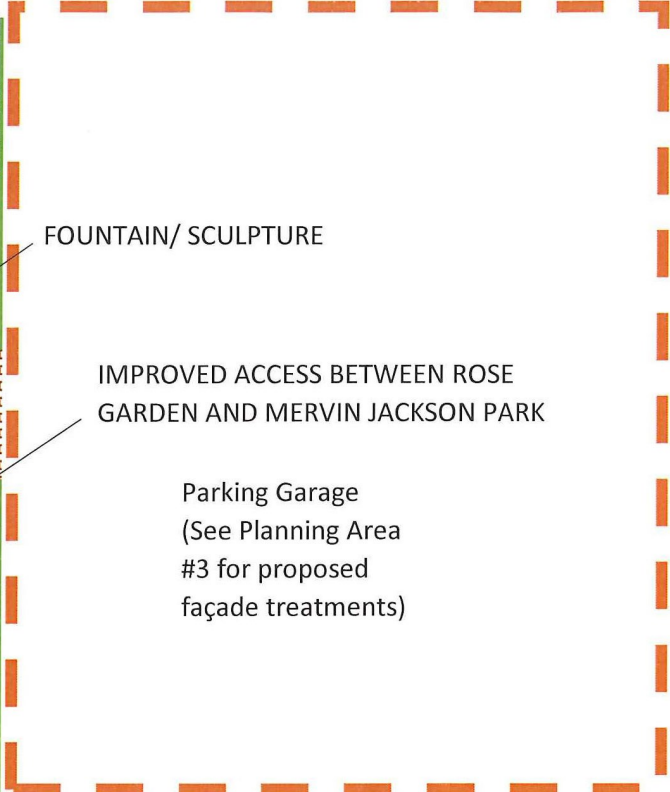


Lawn

FOUNTAIN/ SCULPTURE

IMPROVED ACCESS BETWEEN ROSE
GARDEN AND MERVIN JACKSON PARK

Parking Garage
(See Planning Area
#3 for proposed
façade treatments)



Museum
Garden

West Parcel Mervin Jackson Park

Map not to scale

(illustrative only – not approved for construction)

Rose Garden—Lower Level

Planning Area #9

Description: This area includes the sloped hill leading down from the Upper Rose Garden, the grassy area adjacent to the Town Hall retaining wall, stairwell, and patio outside the lower level conference area of Town Hall. The patio is currently used as an outdoor seating /picnic area. The grassy area at the base of the slope between the Upper and Lower Rose Garden is unused.



Core Function: The lower brick patio and stairwell function as an emergency evacuation route for the Town Hall lower level.

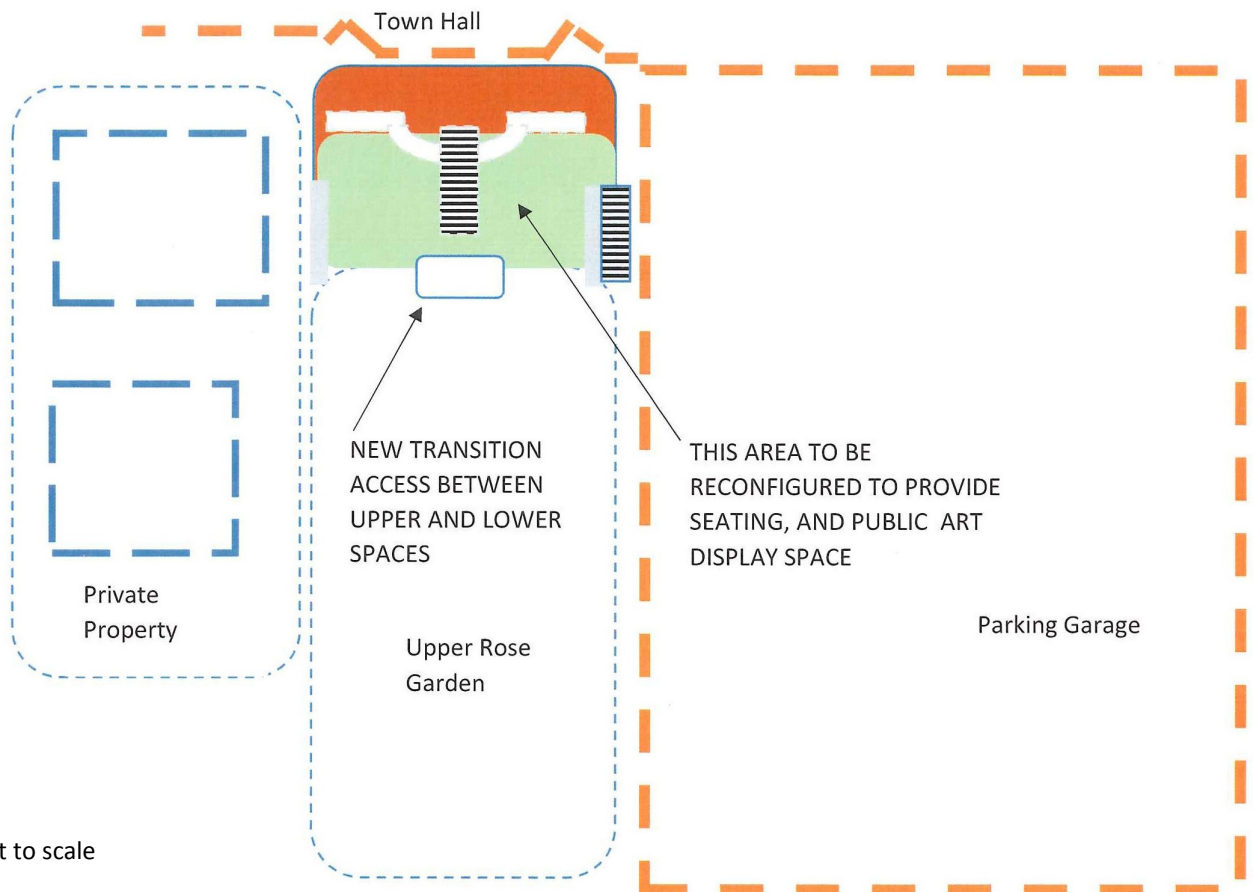
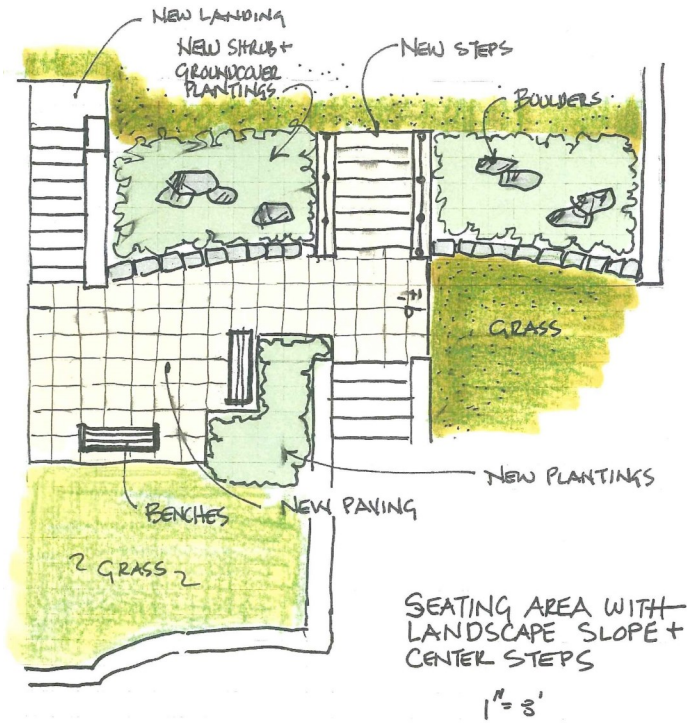
This access must be maintained in any future design. The lowest level of this space provides patio dining space. Overall the space is underutilized because of design and access limitations.

Development Consideration: During the public input process, it was recommended by several members of the public that this underutilized area be converted into an amphitheater style performing arts space. The thought was to redesign the retaining wall to allow for stepped seating. Due to space constraints and the costs associated with excavating and reconstructing the retaining wall make this proposal impractical. Because the Town Green has been improved with a permanent performance stage, it is recommended that all large gatherings take place there. The lowest level of this space is the bricked patio adjacent to the Town Hall's lower level conference room. This area currently includes two wooden picnic tables. It is recommended that this space be updated to include new seating, tables, and plant material. The patio bricks need to be reinstalled to provide a smoother surface and better drainage. The long concrete stairwell to the lower level needs to be updated to reduce tripping hazards. A gate at the top of the stairwell would provide additional safety. The grass area at the top of the stairwell and adjacent slope to the upper rose garden are minimally landscaped. This area is highly visible from the parking garage, the Upper Rose Garden, and the lobby of the Town Hall. This space is appropriate for sculptural public art, patio space to accommodate additional seating and tables, and a water feature. A stairway to transition from the Upper Rose Garden to the Lower Rose Garden should be incorporated into any future design of this space.

Key Features:

- Install hardscape patio near the top of the existing staircase to allow for conversational seating
- Create areas for sculptural public art in the grassy area
- Create stairwell to allow for transition between Upper and Lower Rose Garden spaces

- Consider installing a water feature (non-interactive) that could be seen from the Town Hall lobby windows
- Re-lay the brick hardscape surface on the existing lower patio to improve drainage and reduce trip hazards
- Install new high quality movable patio furniture
- Replace existing mature azalea hedge with new, healthier plantings that will thrive in this environment



Map not to scale

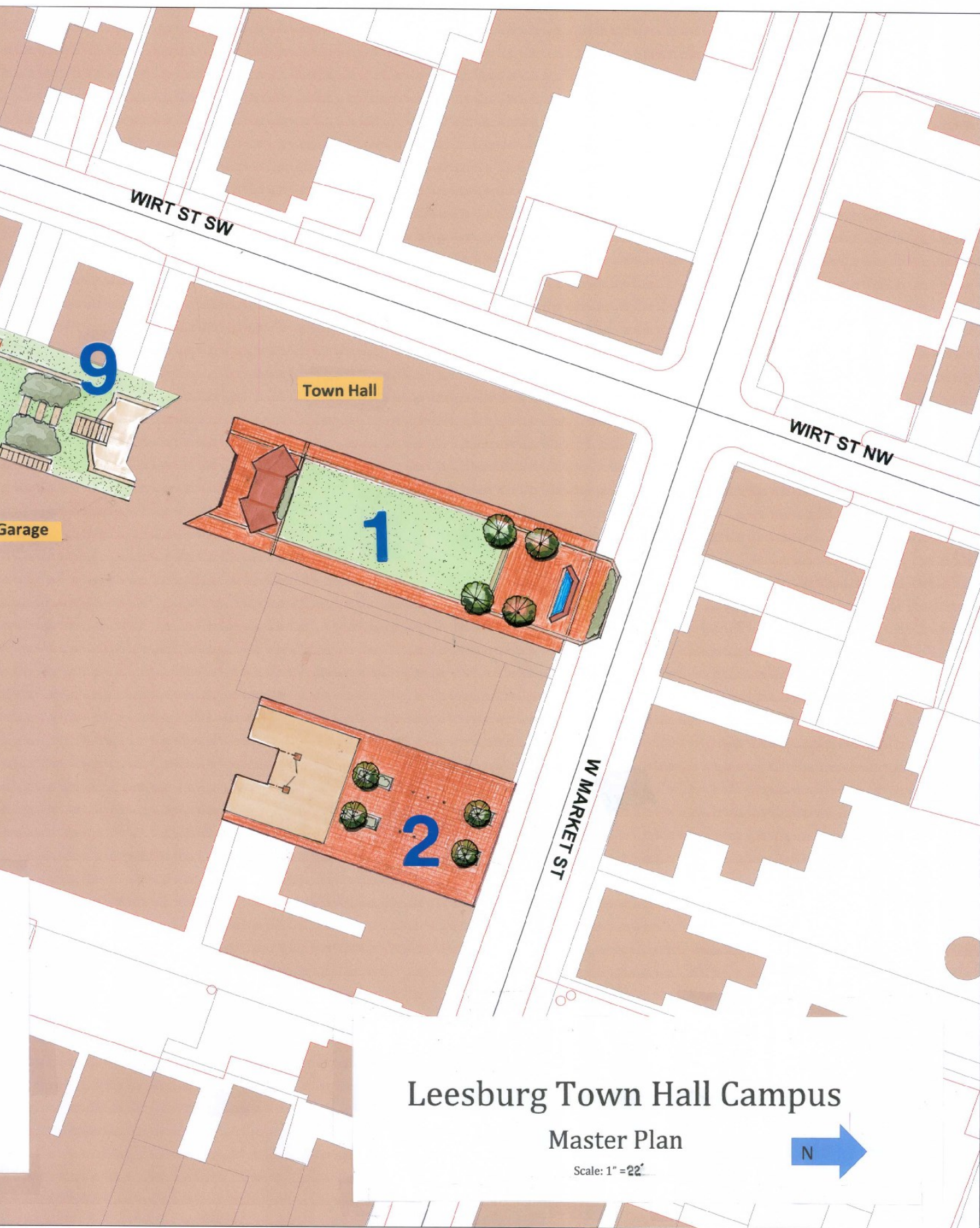
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Town Hall Campus Master Plan

Planning Zones

- 1. Town Green
- 2. Garage Entrance-Market
- 3. Parking Garage Façade
- 4. East Panel- Mervin Jackson Park
- 5. Garage Entrance- Loudoun
- 6. West Panel -Mervin Jackson Park
- 7. Museum & Museum Garden
- 8. Rose Garden
- 9. Rose Garden – Lower Level



WIRT ST SW

Town Hall

WIRT ST NW

Garage

W MARKET ST

Leesburg Town Hall Campus

Master Plan

Scale: 1" = 22'

