



## Comprehensive Sign Plan Commercial Signage

Dept. of Planning & Zoning, Town of Leesburg, Virginia  
Comprehensive Sign Plan Review  
Case # TLSP - 2016-0113

*The administrative panel as established in Section 15.13.3 of the Leesburg Zoning Ordinance has determined that this Comprehensive Sign Plan is consistent and compliant with the requirements outlined in Section 15.13. Any revisions to this plan shall require additional action by the administrative panel.*

*Thomas W. Scofield*  
Administrative Panel Member

05/24/2016  
Approval Date



# Contents

- ◆ The Vision
- ◆ General Design Guidelines
- ◆ General Development Standards
  - Design Submission Process
  - Relationship to Town Zoning Ordinance
  - Design Review Process & Approvals
  - General Sign Criteria
  - Definitions
- ◆ Commercial Signage Standards
  - Wall Signs
  - Awning & Canopy Signs
  - Projecting/Blade Signs
  - Window Signs
  - Exempt Signs
  - Prohibited Signs
- ◆ APPENDIX – Building Elevations & Floor Plan

Images shown in this document come from various published sources including books, magazines and websites, and are used for educational purposes. These are examples only.

## The Vision

The Comprehensive Sign Plan for Crescent Place envisions the creation of a vibrant, mixed-use urban community. A well-coordinated storefront and sign system within the commercial component of a mixed-use community is one of the most effective ways of creating a lasting identity. These guidelines outline a set of overall parameters for commercial establishment signs within the development in order to achieve a coordinated approach to community design and distinctive sense of place.

In addition, the guidelines provide examples of successful concepts for signs common throughout the commercial area such as wall signs, window signs, awning/canopy signs and projecting/blade signs. Commercial establishments are required to integrate their individual brand into the vision of Crescent Place. Conformance with the guidelines will further ensure a predictable and timely permit review process.

Critical factors in creating this environment include:

- Establishing a strong sense of place & overall project identity while creating storefronts for individual commercial establishments.
- Creating a lively environment with a variety of successful shops, services and restaurants.
- Providing safe, convenient and easily understood pedestrian connections throughout the community.

The quality and effectiveness of the commercial signs in Crescent Place will be a significant contributor to the attainment of these goals.



## General Design Guidelines

Great commercial signs take visibility, placement, size, illumination and materials into consideration. Wall and awning signs will be placed in similar location on buildings for continuity (see Appendix). Signs with individual letters are preferred. Different types of signs can be used in combination to create a successful commercial atmosphere to attract customers. Commercial signs will be reviewed by the landlord based on how well the types of signs used coordinate with each other and how the signs integrate with the proposed storefront.

### Legibility

Signs should be clearly legible to both motorists and pedestrians. Oversized signs that compete for attention with other signs or create visual clutter or confusion are not permitted.

### Purpose

Signs should primarily serve to identify the name and nature of a business. Attempting to convey too much information to the customer causes distraction and contributes to visual clutter along the streetscape, and should be avoided.

### Style

Commercial signs and graphics should be presented in a professional manner and should not necessarily be identical to one another or uniform in color. Signs and graphics for individual establishments should not compete with one another for attention, but instead should be complementary and contribute to the sense of place of the overall community.

### Size

The placement and size of signs should be compatible with other building elements. Signs should not obscure significant building elements such as windows or cornices.

### Materials & Methods

It is recommended that all sign materials coordinate with the design of the storefront and add to the overall character of the development. Sign contrast and readability should be considered when choosing materials and design methods. All methods of attachment shall be concealed from view or designed so they appear to be design details of the signs. The signs are to be supported through the storefront both electrically and structurally. Signs and graphics shall not penetrate the shell building, including bulkhead and neutral piers.

### Illumination

Successful storefront signs and graphics take nighttime visibility into account. The type of illumination used should enhance the storefront's visibility. The source of the light and resultant glare should not be visible to motorists and pedestrians.

External illumination should be limited to white light. Individually illuminated letters are preferred. Decorative lighting used to externally illuminate signs must be positioned on the facade in such a manner that none of the light spills onto an adjoining property. The source of the light should be positioned such that any resultant glare does not pose a visual deterrence to motorists or pedestrians.



## General Development Standards

### Relationship to Town Requirements

These guidelines are established pursuant to the provisions of the Town of Leesburg Zoning Ordinance for the purpose of ensuring commercial signage in Crescent Place complements the community's overall design character. The standards contained herein define the allowable signage for individual commercial establishments and provide a process for reviewing the consistency of proposed signage with these guidelines. The Landlord may make periodic amendment to these guidelines as it sees fit for the benefit of Crescent Place. Any amendment will require approval of the Town.

### Design Submission Process & Approvals

Unless otherwise exempted by the Town of Leesburg Zoning Ordinance, all commercial signage will require issuance of a sign permit by the Town prior to installation. Prior to submitting the permit application to the Town, the applicant must obtain a letter of approval from the landlord acknowledging consistency of the proposed signage with these guidelines. This letter of approval must be submitted by the applicant to the Town for each individual sign permit application, and the Landlord reserves the right to deny approval if the proposed designs are not in conformance with the intent of these guidelines and the overall character of Crescent Place.

Prior to submission of a sign permit application to the Town, a commercial tenant is required to submit four (4) copies of scaled construction design documents to Landlord for review and approval for each proposed commercial sign. Such documents should be prepared by a licensed sign contractor and include schematic renderings, section details, mounting details, and color and material specifications for letters, trim caps, and returns. An elevation of the commercial storefront must be provided showing location of the proposed sign as well as all other signage on the storefront, accompanied by a corresponding tabulation of individual and aggregate sign area. Submittals in electronic PDF files are acceptable.

### Building Code Compliance

All commercial signs, regardless of type or style, shall meet all applicable local, state or national codes for construction/installation.

### Maintenance

All signs and components shall be maintained in good repair and in a safe, clean and attractive condition. Any sign which is declared to be an immediate or imminent hazard to life or property may cause it to be immediately removed or repaired. All costs associated with the removal or repair shall be charged to the owner of the premise.

## General Sign Criteria

The following guidelines will apply to all commercial signage in Crescent Place:

### Types of Commercial Signs Permitted

Awning/Canopy, Miscellaneous Commercial Signs (defined herein), Projecting/Blade, Wall, Window

### Maximum Sign Area

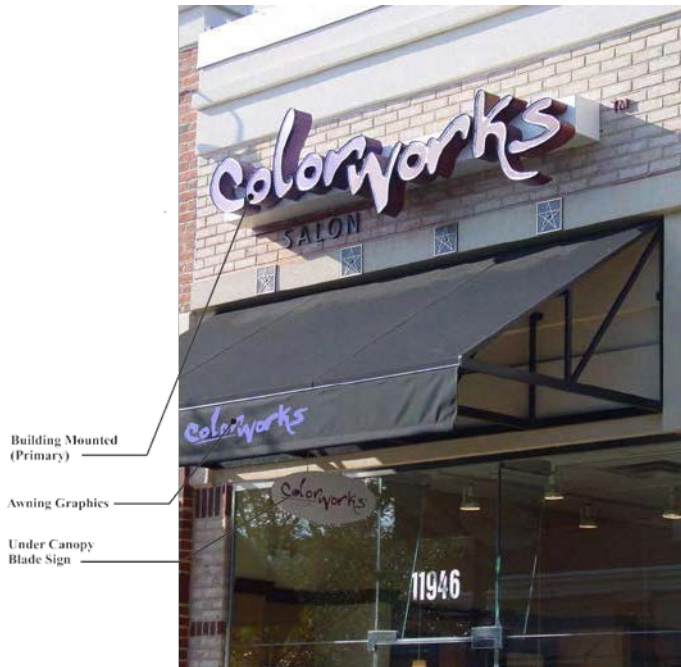
Allowable sign area will be calculated based upon the linear feet of building frontage occupied by the individual commercial establishment as outlined by the sign type standards herein. Under no circumstance will the aggregate sign area for any individual commercial establishment exceed 100 square feet, and the maximum area of any one sign will not exceed 60 square feet, regardless of type.



## Maximum Number of Signs

Number of signs per commercial establishment may vary based on the standards herein, but will not exceed more than three (3) in any combination of the following sign types:

1. Wall Sign
2. Window Sign
3. Projecting/Blade Sign
4. Awning/Canopy Sign
5. A-Frame/Sandwich Board Sign



Example of allowable sign combination on commercial façade

## Determining Sign Height

When measuring the height of a sign from grade, height shall be measured at the top edge of the sign from the average elevation of the edge of sidewalk or grade at the points most nearly adjacent to the subject premises. Maximum height from grade shall be fourteen feet (14'-0"), or the floor height of the second story elevation, whichever is lowest

## Number of Sign Faces

No sign shall have more than two (2) sign faces.

## Area of Signs with Two Sign Faces

The area of a sign with two (2) sign faces shall be computed according to the following:

1. Sign faces separated by an interior angle of forty five (45) degrees or greater, both sign faces shall be included in the computation of sign area.
2. Sign faces separated by an interior angle of less than forty five (45) degrees, one sign face shall be included in the computation of sign area; provided, however, the area of the largest sign face shall be used when two faces are unequal in area.

## Definitions

The following are definitions for key terms used in these guidelines. The meaning of any term not defined herein shall be derived from the definitions of the Town of Leesburg Zoning Ordinance.

### A-Frame/Sandwich Board Sign

A portable sign placed directly on the sidewalk constructed in a manner to form an “A” or tent-like shape. An A-Frame sign requires issuance of a zoning permit by the Town and shall be subject to the requirements of Section 15.7.2.E.2. of the Zoning Ordinance, and shall count toward the total number of signs permitted for an individual commercial establishment.

### Awning/Canopy Sign

A sign placed directly on or attached to the surface of the skirt face of an awning or canopy. Such signage is not permitted on the slope of the awning or canopy, nor shall it project above or below the skirt face.

### Commercial Establishment

The retail, restaurant or office use occupying the first floor commercial area of the Live/Work and Mixed-Use buildings.

### Landlord

The individual or entity empowered by the documents establishing the Property Owners’ Association (POA) for Crescent Place with authority to administer the Comprehensive Sign Plan is called the “Crescent Place Property Owners Association Commercial Review Committee.”

### Exempt Signage

A sign that is exempt (in accordance with Section 15.4) from the permitting requirements of the Town of Leesburg that may be installed by individual commercial establishments within the commercial areas of Crescent Place. Such signs include identification signs (i.e. address numbers), flags and/or open/hours of operation signage. All such exempt signage remains subject to Landlord approval prior to

installation.

### Projecting/Blade Sign

Any sign, other than a wall, awning or canopy sign, which is permanently affixed to a building and is supported by the wall on which it is mounted, or mounted beneath an awning/canopy.

### Seasonal Banners

Seasonal banners displayed and/or attached to light poles located on private property, shall not advertise a product, service, or the name of any business or place of business. Seasonal banners shall not be displayed for a period exceeding forty five (45) days, and must be coordinated by Landlord and cannot be installed by individual commercial establishments.

### Sign Area

The entire face of a sign, including the advertising surface and any framing, trim or molding, but not including the supporting structure. Sign area shall be calculated as if drawing a rectangle around entire sign.

### Sign Face

The area or display surface used for the message, not including the support structure.

### Temporary & Special Event Signs

A sign or advertising display designed or intended to be displayed for a specified period of time, as provided in Sec. 15.4 and Sec. 15.6 of the Town Zoning Ordinance. Temporary signs & Special Event Signs require a zoning permit issued by the Town.

### Wall Sign

A sign attached to a wall, or painted on or against a flat vertical surface of a building in such a manner that the wall becomes the supporting structure for, or forms the background structure of the sign.

### Window Sign

All signs attached to or applied directly onto the surface or sub-surface of windows and/or doors and transoms composed of glass.





## Commercial Signage Standards

Wall Signs

Awning/Canopy Signs

Projecting/Blade Signs

Window Signs

Exempt Signs

Prohibited Signs

These photo examples show successful combinations of the various types of commercial signs used in an integrated storefront presentation.





## Wall Signs

### Development Standards

#### General Placement:

Wall Signs should generally be centered or arranged in a manner compatible with the overall storefront presentation for the individual commercial establishment.

#### Maximum Height:

Maximum height from grade shall be fourteen feet (14'-0"), or the floor height of the second story elevation, whichever is lowest. When located at pedestrian level near entry doors or over supporting columns, a Wall Sign shall have a minimum height of eight feet (8'-0") measured from grade to the bottom edge of the sign.

#### Limit on Sign Projection from Wall Surface:

Maximum projection of eight (8) inches

### Number of Allowable Signs

One (1) Wall Sign is allowed per individual commercial establishment, except where a business occupies a corner location one (1) additional Wall Sign on the building side elevation may be permitted. The allowable area of the side elevation Wall Sign may be up to 100 percent that of the front Wall Sign as long as the maximum aggregate sign area for the business is not exceeded and no single sign exceeds sixty (60) square feet in size. Landlord reserves the right to reject signs that meet the design criteria but are disproportionate to location and surroundings.

### Maximum Size

One (1) square foot per linear foot of building frontage on which the sign is to be attached, up to maximum area of 60 square feet for an individual Wall Sign. Maximum height of an individual letter or logo shall be two feet (2'-0"). Business logos are permitted but shall count toward the allowable area totals.



Examples of Wall Signs



Measuring Wall Sign Area (X' x Y')



## Awning/Canopy Signs

### Development Standards

#### Location:

Parallel to and not projecting above or below the skirt face of the awning or canopy, and mounted or printed directly onto the skirt face surface of awning or canopy.

#### Limit on Projection:

Maximum of five feet (5'-0") from the face of the building, but awning or canopy projection shall in no way interfere or obstruct either pedestrian or vehicular traffic.

#### Maximum Size:

One (1) square foot per linear foot of building frontage on which the sign or signs are to be installed, up to a maximum of sixty (60) square feet for all Awning/Canopy signage for an individual commercial establishment. The maximum size for any one (1) Awning/Canopy sign shall be twenty (20) square feet. Logos shall count toward maximum area.

The maximum height of the Awning/Canopy skirt and any individual letter and/or logo installed thereon shall be twelve inches (12").

The area of Awning/Canopy Signs shall count toward the maximum aggregate sign area allowed per individual establishment as defined under General Criteria.

#### Limitations:

A maximum of one (1) sign is permitted per Awning/Canopy.



Examples of Awning/Canopy Signs in Combination with Wall Sign.



Measuring Awning/Canopy Sign Area (X' x Y')

### Projecting/Blade Signs

#### Development Standards

**Angle of Projection:**

Ninety Degrees (90°)

**Limit of Projection from Building Surface:**

Maximum projection from building, three feet (3'-0")

**Minimum Clearance from Grade:**

Seven and one-half feet (7'-6")

**Maximum Number of Signs:**

One (1) Projecting/Blade Sign allowed per individual establishment, except for corner locations, which may have one (1) primary Projecting/Blade sign per side.

**Maximum Height:**

Maximum height from grade shall be fourteen feet (14'-0"), or the floor height of the second story elevation, whichever is lowest.

**Maximum Size:**

Fifteen (15) square feet

The area of Projecting/Blade Signs shall count toward the maximum aggregate sign area allowed per individual establishment as defined under General Criteria.

**Projection over Vehicular Right of Way:**

Not permitted



**Max Projection**



**Examples of Projecting/Blade Signs.**





# Window Signs

## Development Standards

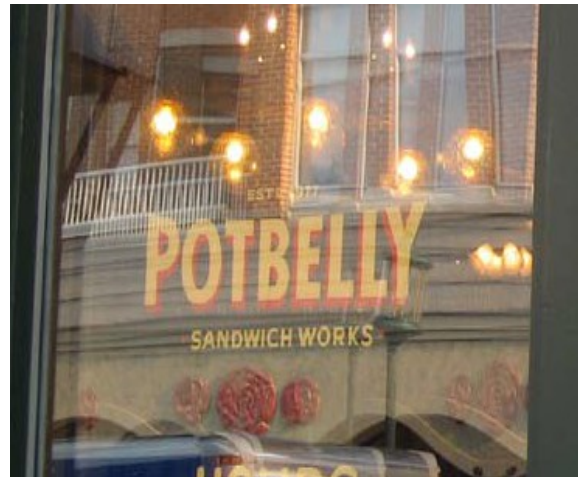
### Maximum Size:

A Window Sign shall be limited to no more than 25% of the total square footage of an individual commercial establishment’s window area inclusive of all windows on the facade, or one (1) square foot per linear foot of building frontage of the establishment, or sixteen (16) square feet, whichever is less. The maximum height of an individual letter or business logo included in a Window Sign shall be three feet (3’-0”).

The area of Window Signs shall count toward the maximum aggregate sign area allowed per individual establishment as defined under General Criteria.

### Location:

A Window Sign may be located on the glazing of a door, storefront, display glass, or in a transom.



Example of Window Sign located on display glass.



Example of Window Sign located in a transom.



### Window Signs | CONT'D

#### Exempt Window Graphics/Signs

Window Signs or graphics identifying the commercial establishment's hours of operation and/or displaying the business name or logo that are less than two (2) square feet in size are exempt from Town sign permit requirements as provided under Sections 15.4.8 and 15.4.1, respectively.

The permissibility of such signage will be evaluated based on consistency with the character of Crescent Place, and shall be approved or denied solely at Landlord's discretion



Examples of exempt Window Signs



## Exempt Signage

The following commercial signs do not require permits from the Town of Leesburg, but are subject to the definitions and standards of the Town Zoning Ordinance. Additionally, all such exempt signage still requires Landlord review and approval, regardless of exemption from Town permitting requirements.

The permissibility of such signage will be evaluated based on consistency with the character of Crescent Place, and shall be approved or denied solely at Landlord’s discretion.

### Identification Signs:

Any sign indicating the address of a business and/or commercial tenant’s name/logo shall not exceed two (2) square feet in area.

### Open/Hours of Operation Signs:

“Open” signs shall be attached to or applied directly onto the window or door of a business, shall not exceed two (2) square feet in area, and shall require review and approval by the Landlord. Signs may be internally lit or illuminated by white light only. Illumination of signs shall comply with Section 15.4.8.B.

## Seasonal Banner

Seasonal banners displayed and/or attached to light poles located on private property, shall not advertise a product, service, or the name of any business or place of business. Seasonal banners shall not exceed fifteen (15) square feet in size, nor be displayed for a period exceeding forty five (45) days and must be coordinated by Landlord, and cannot be installed by individual commercial establishments.



Examples of Seasonal Banners

## Directional Signs

Directional signs for nonresidential uses shall not exceed a total of three (3) individual signs, a maximum height of thirty-six (36”) inches in height, three (3) square feet in area, or be located closer than five (5) feet to any lot line. Directional signs may be internally lit or illuminated by white light only. This includes small signs displayed for the direction or convenience of the public, including signs that identify a restroom, entrance, exit, freight entrance or similar feature, and must be coordinated by Landlord and not installed by individual commercial establishments.

## Prohibited Signs

All signs prohibited by the Town of Leesburg Zoning Ordinance are by extension prohibited in Crescent Place. In addition to signs prohibited by ordinance, commercial signs in Crescent Place are not permitted to include animated components, flashing lights, exposed bulbs, or colored lighting. Moreover, formed plastic, injection molded, box type or solid panel signs are expressly prohibited.

While not all inclusive, the following are examples of sign types **prohibited** in Crescent Place.

### **Animated Signs:**

A sign that rotates, moves, or simulates motion by any means. Such signage includes those with scrolling or moving digital characters or displays, as well as those with components set in motion by the atmosphere, to include streamers, pennants, propellers or discs. This prohibition shall not apply to the hands of a clock, a weather vane, or flags meeting all applicable requirements of this article.

### **Flashing Signs:**

A sign consisting of or illuminated by flashing or intermittent lights or other lights of changing degrees of intensity, brightness or color. Flashing signs do not always contain written messages such as found with Electronic Message Board Signs.

### **Glaring Signs:**

Signs with light sources of such brightness as to constitute a hazardous glare, reflection, or nuisance as determined by the Zoning Administrator.

### **Hazards:**

Signs that obstruct the visibility at intersections or block any window, door, fire escape, stairway, or any opening intended for light, air or access to any building.

### **Neon Signs:**

Signs made of continuous luminous tubes containing neon or other inert gases that glow brightly when high voltage is applied.

### **Roof Signs:**

A sign erected or constructed, in whole or in part, upon or above the highest point of a building with a flat roof, or the lowest portion of a roof (i.e. eave line) for any building with a pitched, gambrel, gable, hip or mansard roof.

### **Signs Erected in or Over a Public Right-of-Way:**

Signs erected in or over public right-of-way or on public land except as permitted in Section 16-27 of the Town Code.

### **Strings of Lights:**

Strings of lights outlining property lines, sales areas, or any portion of a structure, unless part of an approved sign or sign-structure. This prohibition shall not apply to lights installed as holiday decorations, which lights may be illuminated only during the holiday season to which the display of such lights is customarily associated.

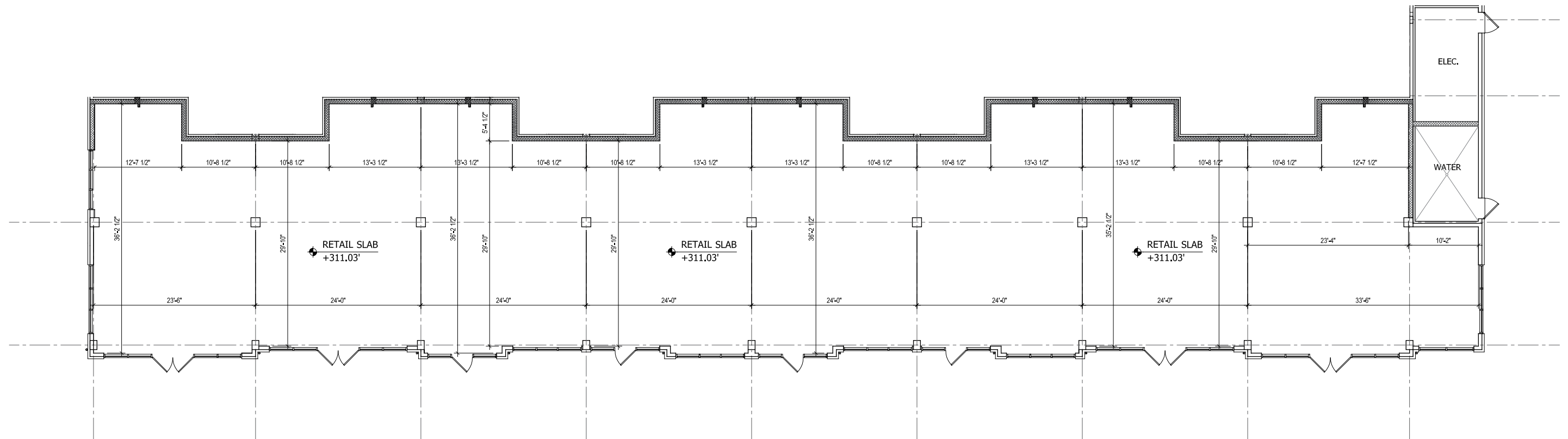
## Appendix

### Building Elevations & Floor Plan





# Building A



SALES BY: Paladin Real Estate  
Exclusively Commercial

BUILT BY: Leesburg Building Partners, LLC







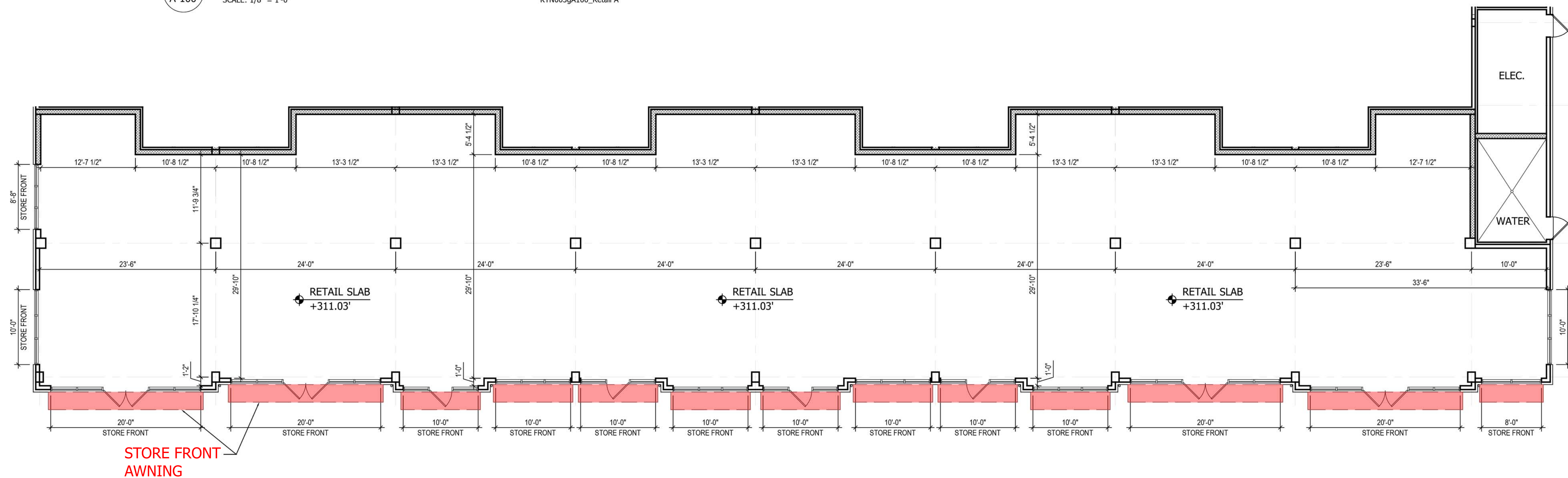
3 BUILDING 'A' - LEFT SIDE ELEVATION  
 SCALE: 1/8" = 1'-0"  
 KTN003gA100\_Retail A



4 BUILDING 'A' - RIGHT SIDE ELEVATION  
 SCALE: 1/8" = 1'-0"  
 KTN003gA100\_Retail A

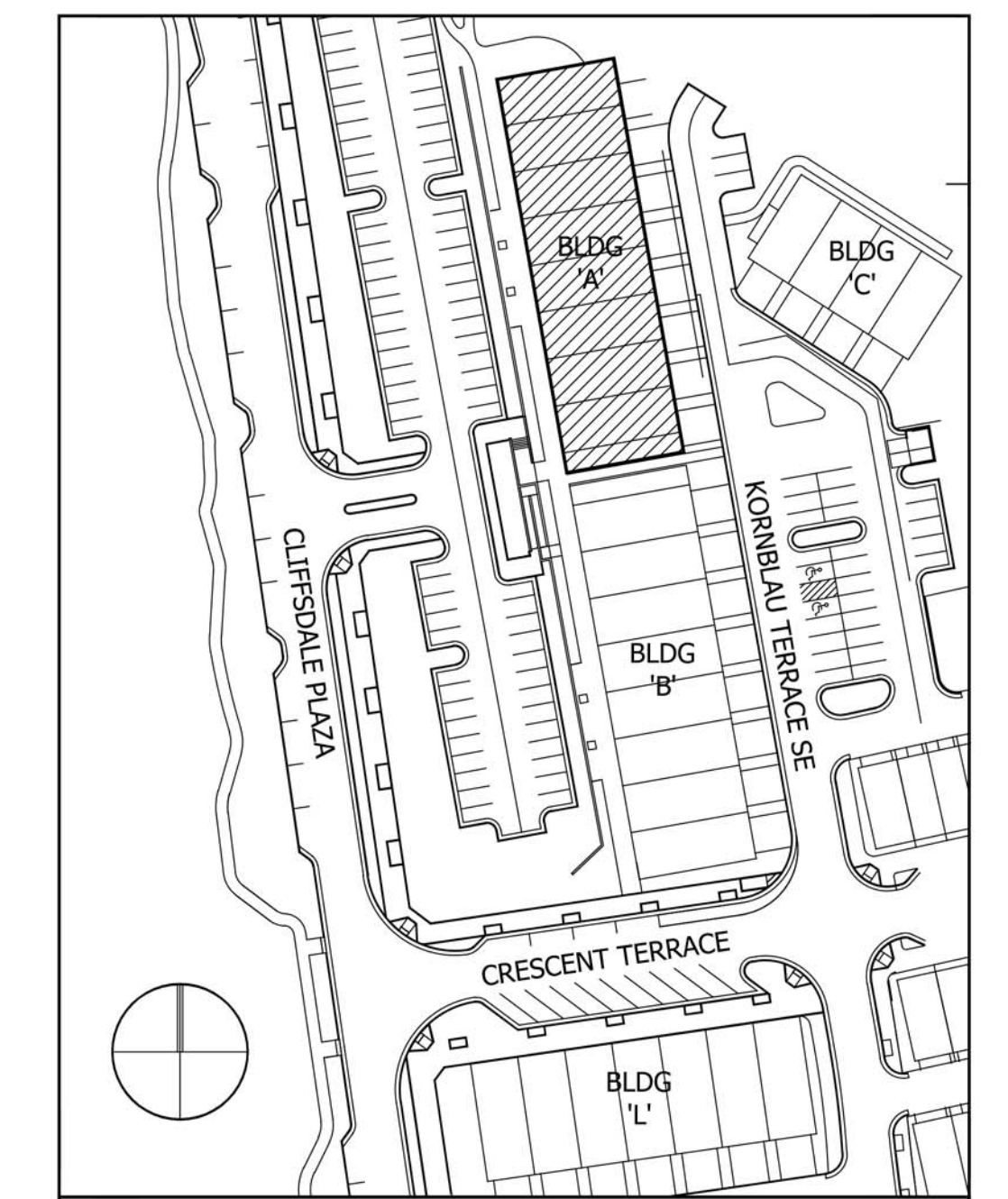


2 BUILDING 'A' - ELEVATION @ RETAIL SIDE  
 SCALE: 1/8" = 1'-0"  
 KTN003gA100\_Retail A



1 BUILDING 'A' - GROUND FLOOR  
 SCALE: 1/8" = 1'-0"  
 KTN003gA100\_Retail A

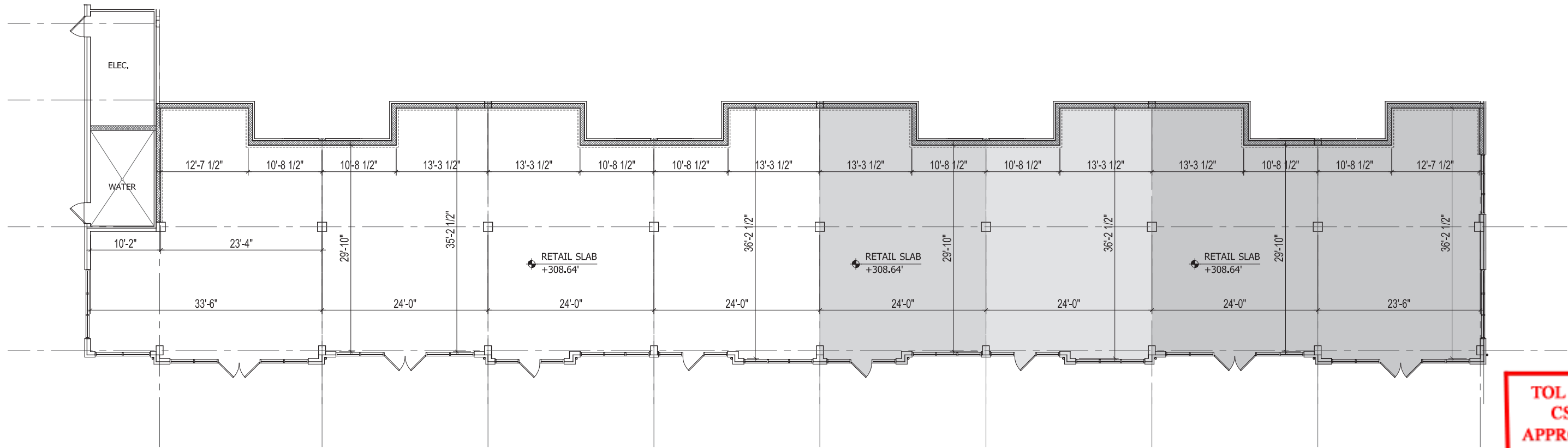
TOL DPZ  
 CSP  
 APPROVED



KEY PLAN



# Building B



**TOL DPZ  
CSP  
APPROVED**



SALES BY: Paladin Real Estate  
Exclusively Commercial

BUILT BY: Leesburg Building Partners, LLC

All prices are subject to change without notice. All floor plans and renderings are conceptual and used for illustrative purposes only and are subject to change without notice. All dimensions are approximate. Builder reserves its right to change or alter its plans, specifications and materials without notice or obligation. Please consult sales representative for details.





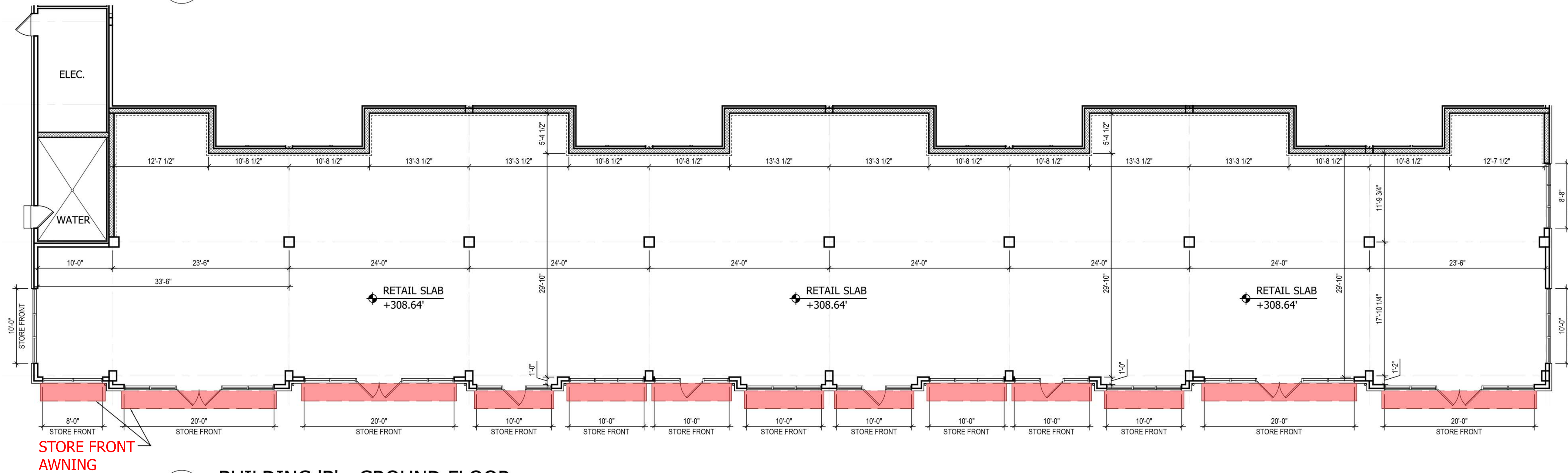
3 BUILDING 'B' - LEFT SIDE ELEVATION  
 SCALE: 1/8" = 1'-0"  
 KTN003gA100\_Retail B



4 BUILDING 'A' - RIGHT SIDE ELEVATION  
 SCALE: 1/8" = 1'-0"  
 KTN003gA100\_Retail B

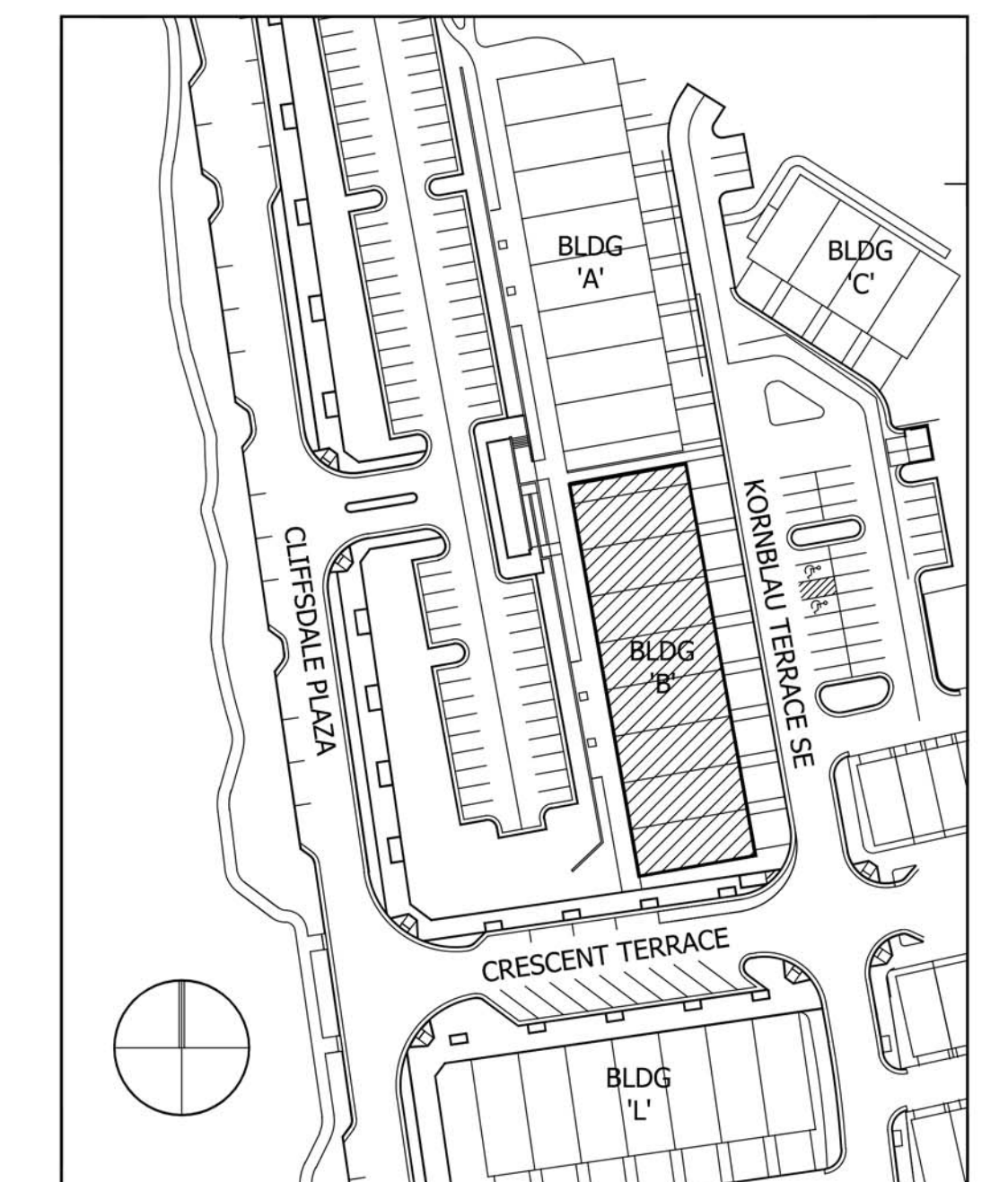


2 BUILDING 'B' - ELEVATION @ RETAIL SIDE  
 SCALE: 1/8" = 1'-0"  
 KTN003gA100\_Retail B



1 BUILDING 'B' - GROUND FLOOR  
 SCALE: 1/8" = 1'-0"  
 KTN003gA100\_Retail B

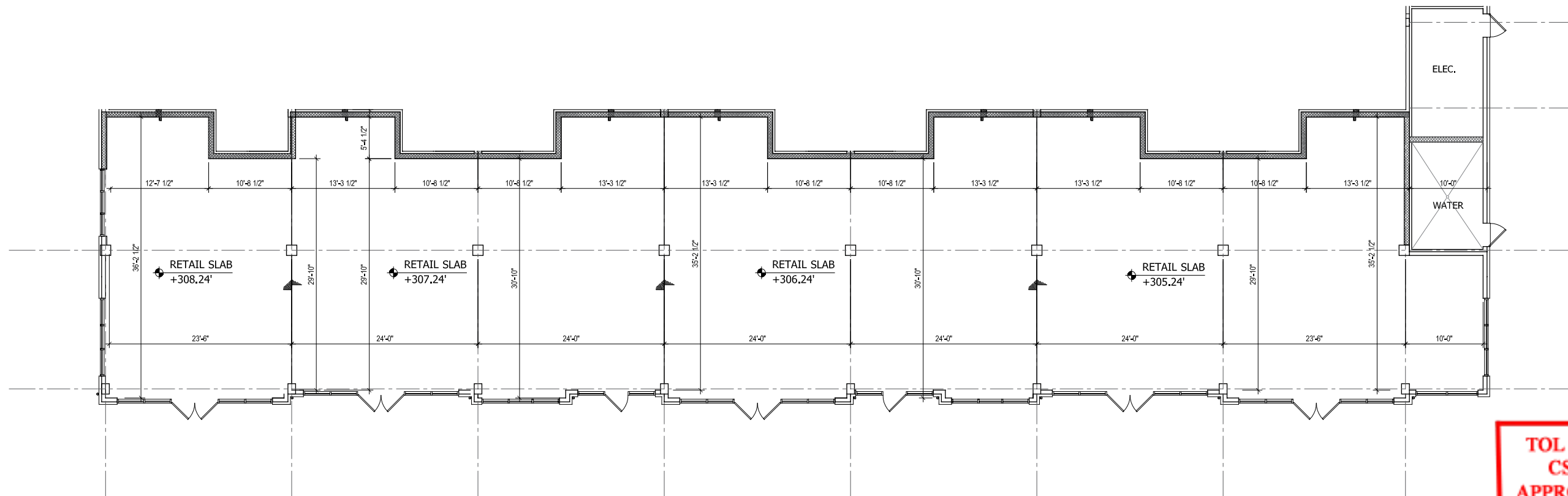
TOL DPZ  
 CSP  
 APPROVED



KEY PLAN



# Building L



**TOL DPZ  
CSP  
APPROVED**



SALES BY: Paladin Real Estate  
Exclusively Commercial

BUILT BY: Leesburg Building Partners, LLC





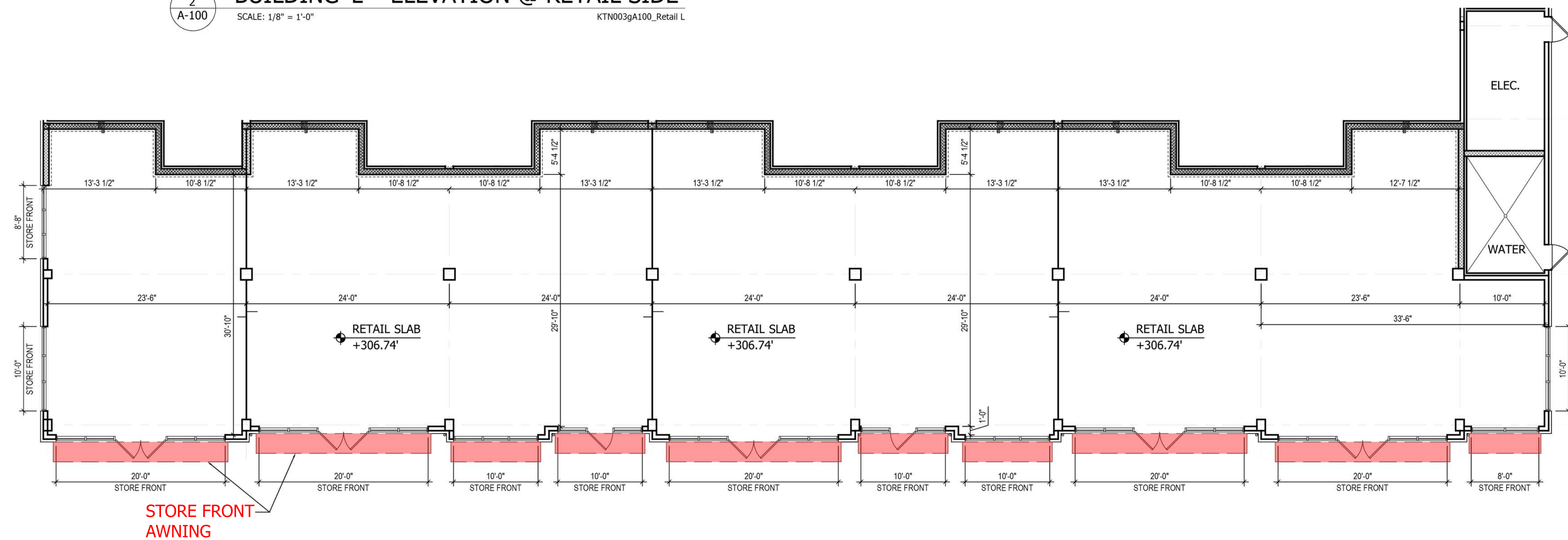
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A-100 BUILDING 'L' - LEFT SIDE ELEVATION  
SCALE: 1/8" = 1'-0" KTN003gA100\_Retail L



4  
A-100 BUILDING 'L' - RIGHT SIDE ELEVATION  
SCALE: 1/8" = 1'-0" KTN003gA100\_Retail L



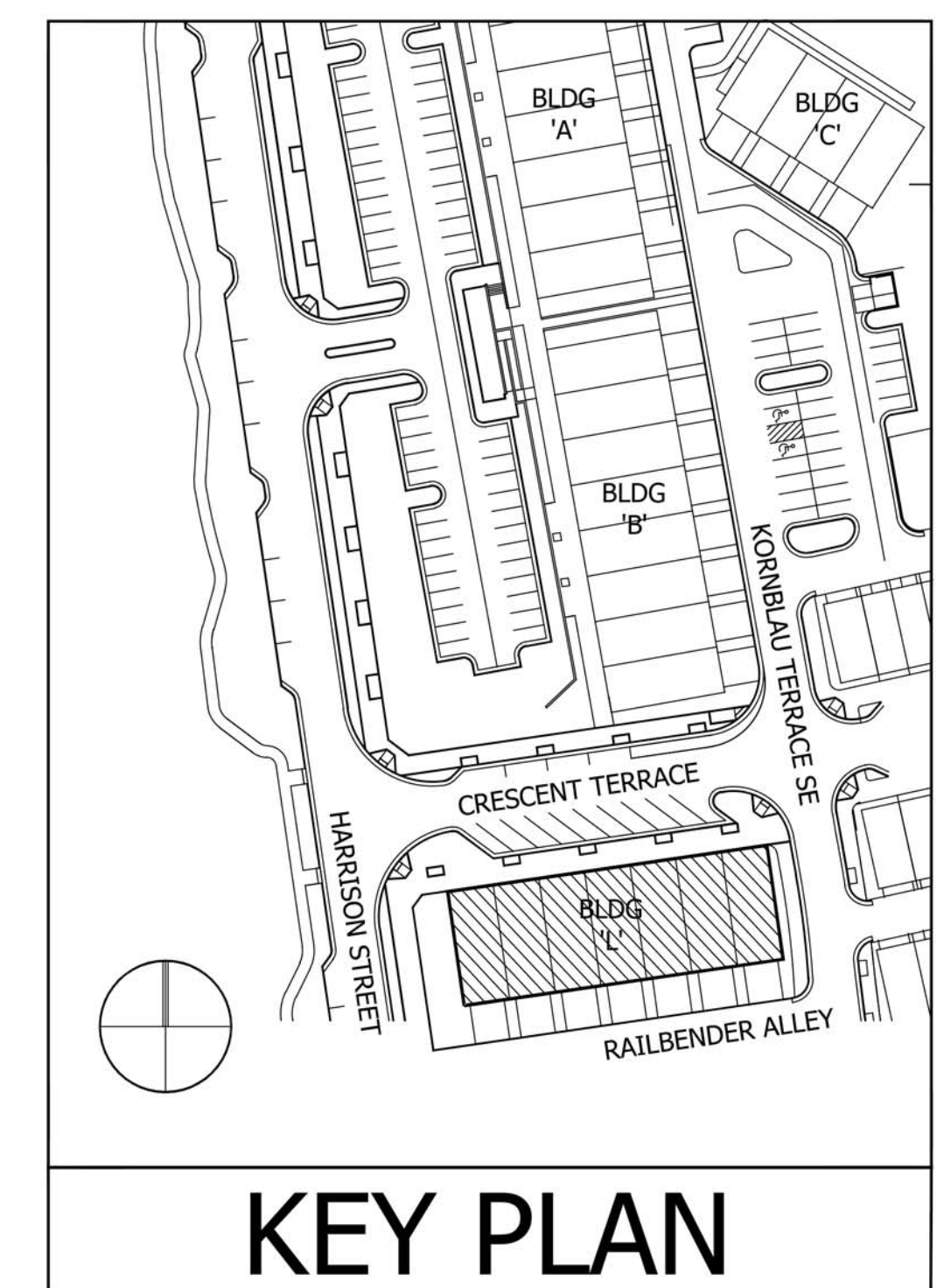
2  
A-100 BUILDING 'L' - ELEVATION @ RETAIL SIDE  
SCALE: 1/8" = 1'-0" KTN003gA100\_Retail L



STORE FRONT  
AWNING

1  
A-100 BUILDING 'L' - GROUND FLOOR  
SCALE: 1/8" = 1'-0" KTN003gA100\_Retail L

TOL DPZ  
CSP  
APPROVED



KEY PLAN



**Dept. of Planning & Zoning, Town of Leesburg, Virginia  
Comprehensive Sign Plan Review**

**Case # TLSP - 2016-0113**

*The administrative panel as established in Section 15.13.3 of the Leesburg Zoning Ordinance has determined that this Comprehensive Sign Plan is consistent and compliant with the requirements outlined in Section 15.13. Any revisions to this plan shall require additional action by the administrative panel.*

*Thomas W. Scofield*  
Administrative Panel Member

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