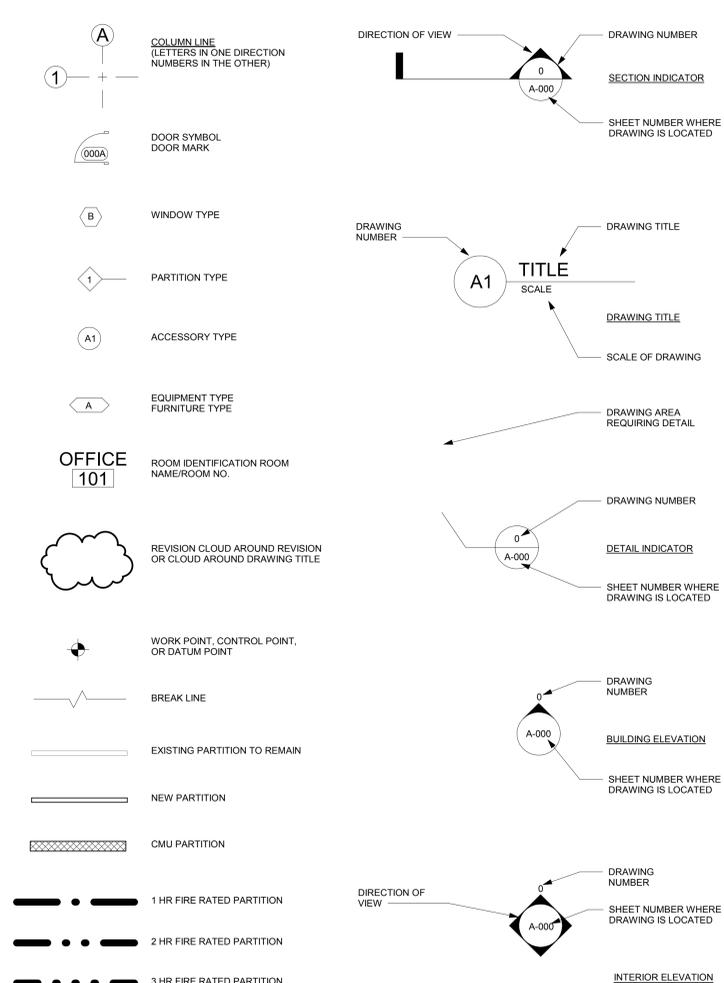


ABBREVIATIONS

ADA & @ C # (E)	AMERICANS WITH DISABILITIES AND ANGLE AT CENTERLINE DIAMETER OR ROUND ROUND OR NUMBER EXISTING	EXP. EXT. F.A. F.B. F.D. FDN F.E. F.E.C. F.H.C. FIN. FL. FLASH FLOUR F.O.C. F.O.F. F.O.S. FPRF F.S. FT. FTG FURJ FUT.	EXPANSION EXTERIOR FIRE ALARM FLAT BAR FLOOR DRAIN FOUNDATION FIRE EXTINGUISHER FIRE EXTINGUISHER CAB. FIRE HOSE CABINET FINISH FLOOR FLASHING FLUORESCENT FACE OF CONCRETE FACE OF FINISH FACE OF STUDS FIREPROOF FULL SIZE FOOT OR FEET FOOTING FURRING FUTURE	O.D. OPNG. OPP. ORD. P.F. PRCST. PL. P.LAM. PLAS. PLYWD. PR. PAIR PT. PAINTED P.T.D./R. PTN. P.T.R. Q.T.	OUTSIDE DIAMETER OPENING OPPOSITE OVERFLOW ROOF DRAIN PREFINISHED PRECAST PLATE PLASTIC LAMINATE PLASTER PLYWOOD PAIR POINT PAINTED COMBINATION PAPER TOWEL DISPENSER/RECEPTACLE PARTITION PAPER TOWEL RECEPTACLE QUARRY TILE RISER RADIUS ROOF DRAIN REFERENCE REFRIGERATOR REGISTERED REINFORCED REQUIRED RESIL. ROOM ROUGH OPENING SOUTH SOLID CORE SCHEDULE S.F. SOAP DISPENSER SECTION SHELF SHWR. SHEET SIM. S.N.D. S.N.R. SPEC. SQ. ST.STL. S.SK. STATION STANDARD STEEL STOR. STRUCTURAL SUSPENDED SYMMETRICAL TRD. TOP OF CURB TELEPHONE TER. T&G THK. TOP OF FAVEMENT T.P. T.V. T.W. TYP. UNF. UNLESS NOTED OTHERWISE UR. URINAL VERT. VENT THROUGH ROOF W. WEST W/ WOOD WO WITHOUT WP WATERPROOF W.SCT. WT.
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NOTE: ABBREVIATION LIST IS FOR CONTRACTORS CONVENIENCE AND MAY NOT BE COMPLETE. REFER ANY QUESTIONABLE ABBREVIATIONS TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

SYMBOLS & CONVENTIONS



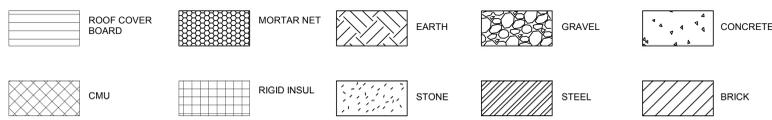
GENERAL NOTES

- A. GENERAL NOTES:**
- THE CONTRACT, ADDENDA, SUPPLEMENTAL CONDITIONS, GENERAL REQUIREMENTS, GENERAL CONDITIONS, AND TECHNICAL SPECIFICATIONS SHALL HAVE PRECEDENCE OVER THESE GENERAL NOTES. ANY CONFLICT BETWEEN THESE GENERAL NOTES AND LANGUAGE FOUND IN THE ABOVE DOCUMENTS OR IN THE DRAWINGS OR IN ANY OTHER CONTRACT DOCUMENT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY FOR FURTHER CLARIFICATION.
 - CONTRACTOR SHALL PROVIDE COMPLETE SYSTEMS AND ASSEMBLIES THAT INCLUDE ALL COMPONENTS NECESSARY FOR A FULLY FUNCTIONAL ASSEMBLY SATISFYING THE DESIGN INTENT. COMPLY WITH THE REQUIREMENTS INDICATED IN THE CONTRACT DOCUMENTS AND READY FOR THE INTENDED USE. REFERENCE CONDITIONS OF THE CONTRACT AND/OR GENERAL REQUIREMENTS FOR ADDITIONAL INFORMATION.
 - REFERENCE CONDITIONS OF THE CONTRACT AND/OR GENERAL REQUIREMENTS FOR ANY OCCUPANCY RESTRICTIONS OR REQUIREMENTS DURING CONSTRUCTION.
 - REFERENCE CONDITIONS OF THE CONTRACT AND/OR GENERAL REQUIREMENTS REGARDING REQUIREMENTS FOR DOCUMENTATION AND REPORTING OF FIELD CONDITIONS BY THE CONTRACTOR AND COORDINATION WITH THE CONTRACT DOCUMENTS.
 - REFERENCE CONDITIONS OF THE CONTRACT AND/OR GENERAL REQUIREMENTS REGARDING COORDINATION OF THE WORK OR OTHER SPECIAL COORDINATION REQUIREMENTS.
 - ALL DRAWINGS, SPECIFICATIONS AND CONSTRUCTION NOTES FORMING PART OF THE CONSTRUCTION DOCUMENTS ARE COMPLEMENTARY AND WHAT IS CALLED FOR BY ONE SHALL BE BINDING AS IF CALLED FOR BY ALL. ANY WORK SHOWN OR REFERRED TO ON ANY ONE DOCUMENT SHALL BE PROVIDED AS THOUGH SHOWN ON ALL DOCUMENTS.
 - CONSTRUCTION TO CONFORM TO ALL LOCAL, STATE AND FEDERAL CODES.
 - THE UTILITIES ARE SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES OTHER THAN THOSE SHOWN ON THESE PLANS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF THE WORK. ALL DAMAGES MADE TO THE EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
 - CONTRACTOR TO VERIFY ACTUAL BUILDING DIMENSIONS FROM ARCHITECTURAL DRAWINGS AND NOTIFY ARCHITECT OF ANY DISCREPANCY PRIOR TO CONSTRUCTION.
 - WHERE DISCREPANCIES EXIST IN DRAWINGS, ENLARGED SCALE DRAWINGS/DETAILS SHALL GOVERN OVER SMALL DRAWINGS AND SPECIFICATIONS SHALL GOVERN OVER ALL.
 - PUBLIC ENTRANCES TO THIS PROJECT AND INTERIOR SPACES SHALL BE ACCESSIBLE TO THE HANDICAPPED AND IN CONFORMANCE WITH ADA REQUIREMENTS AS INDICATED.
 - PRIOR TO SUBMITTING A BID, THE CONTRACTOR SHALL VISIT THE SITE TO REVIEW AND SURVEY EXISTING CONDITIONS TO FULLY UNDERSTAND SCOPE OF WORK.
 - THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND INSPECTIONS AND PAY ALL APPLICATION FEES.
 - IF THE CONTRACTOR PERFORMS OR PROCEEDS WITH ANY WORK, CONTRARY TO APPLICABLE LAWS, ORDINANCES, RULES AND REGULATIONS WITHOUT GIVING PRIOR WRITTEN NOTICE TO THE ARCHITECT, HE SHALL ASSUME FULL RESPONSIBILITY THEREFORE AND BEAR ALL COST ATTRIBUTABLE THERETO.
 - THE CONTRACTOR SHALL CAREFULLY STUDY THE CONTRACT DOCUMENTS PRIOR TO CONSTRUCTION AND SHALL REPORT TO THE ARCHITECT ANY ERROR, INCONSISTENCY OR OMISSION HE MAY DISCOVER AND SHALL NOT PROCEED WITH THE WORK UNTIL THE NOTICE OF THE DOCUMENTS IS VERIFIED BY THE ARCHITECT. THE CONTRACTOR TO DO A SURVEY OF EXISTING ROOF TO VERIFY LADDERS, DRAINS, VENTS AND OVERFLOWS AND NOTIFY OWNER OF ANY NON-CONFORMING CONDITIONS.
- B. DEFINITIONS:**
- "TYPICAL" OR "TYP" INDICATES IDENTICAL COMPLETE SYSTEM, ASSEMBLY OR COMPONENT SHALL BE PROVIDED FOR EACH OCCURRENCE OF THE CONDITION NOTED.
 - "SIMILAR" OR "SIM" INDICATES COMPLETE SYSTEM, ASSEMBLY AND COMPONENTS SHALL BE PROVIDED INCLUDING ANY ADJUSTMENTS REQUIRED DUE TO VARIATION AT A PARTICULAR CONDITION RESULTING IN COMPARABLE CHARACTERISTICS FOR THE "SIMILAR" CONDITION NOTED. THE ARCHITECT SHALL BE THE SOLE JUDGE OF A SIMILAR CONDITION'S COMPLIANCE WITH THE DESIGN INTENT.
 - "AS REQUIRED" INDICATES ITEMS OF WORK REQUIRED TO PROVIDE FOR A COMPLETE SYSTEM, ASSEMBLY OR COMPONENT AS INDICATED IN THE CONTRACT DOCUMENTS. ALL COMPONENTS OF THE NOTED SYSTEM SHALL BE PROVIDED AND INSTALLED, COMPLETE AND READY FOR THE INTENDED USE.
 - "ALIGN" INDICATES ACCURATELY PROVIDE FINISH FACES OF MATERIALS IN STRAIGHT, TRUE, LEVEL AND/OR PLUMB RELATION TO ADJACENT SURFACES WITHIN TOLERANCES DEFINED IN THE TECHNICAL SPECIFICATION.
 - REFERENCE DIVISION 01 OF THE PROJECT MANUAL FOR ADDITIONAL DEFINITIONS AND CLARIFICATIONS.
- C. DIMENSIONS:**
- DIMENSIONS ARE INDICATED TO THE CENTERLINE OF STRUCTURAL GRID, FACE OF CAST-IN-PLACE CONCRETE WALL, FACE OF UNIT MASONRY WALL, AND/OR TO THE FINISH FACE OF INTERIOR WALLS AND PARTITIONS AS SCHEDULED, UNLESS NOTED OTHERWISE.
 - DIMENSIONS SHOWN ON THE DRAWINGS SHALL INDICATE THE REQUIRED SIZES, CLEARANCES, AND DIMENSIONAL RELATIONSHIPS BETWEEN PROJECT SYSTEMS, ASSEMBLIES AND COMPONENTS. DIMENSIONS SHALL NOT BE DETERMINED BY SCALING THE DRAWINGS. USE WRITTEN DIMENSIONS ONLY.
 - WHERE EQUIPMENT OR COMPONENTS HAVE DIMENSIONAL VARIATION DEPENDENT ON THE SELECTED MANUFACTURER, THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE ADJOINING CONSTRUCTION TO ACCOMMODATE THE SELECTED MANUFACTURER'S REQUIREMENTS.
 - REFERENCE DIVISION 01 OF THE PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS FOR COORDINATION OF DRAWINGS AND DIMENSIONS.

AREA MAP



HATCH PATTERNS



SEAL

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KEY PLAN

REVISIONS

MARK	DATE	ISSUE

ISSUANCES

DATE	ISSUANCE
09/20/2019	BID SET

DRAWING INDEX

CS-002

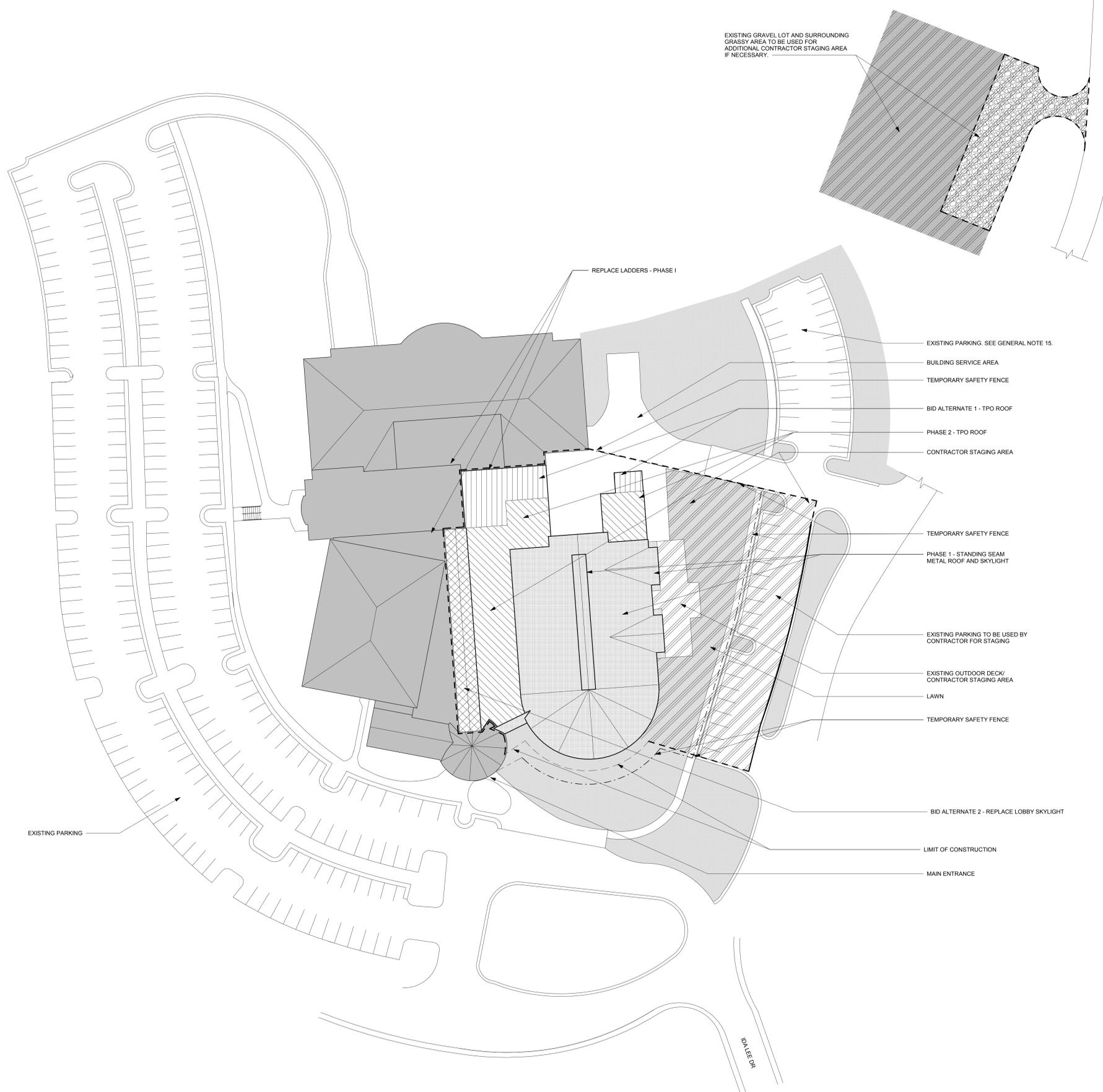
GENERAL NOTES

- GC SHALL PROVIDE TEMPORARY PROTECTION FENCING ADJACENT TO BUILDING PERIMETER AND STAGING AREA AS WORK PROGRESSES.
- GC SHALL PROVIDE TEMPORARY SAFETY FENCE 10 FEET BEYOND THE LIMITS OF THE WORK EDGE.
- GC SHALL PROTECT ALL EXISTING ROOF TOP EQUIPMENT DURING CONSTRUCTION.
- GC SHALL RESTORE ANY SITE DAMAGE CAUSED BY CONSTRUCTION PRIOR TO FINAL COMPLETION.
- GC SHALL COORDINATE SKYLIGHT REPLACEMENT WITH THE OPERATIONS SCHEDULE OF THE CENTER.
- THE BUILDING SERVICE AREA SHALL REMAIN OPEN.
- PROTECT ALL EXPOSED ROOF DECK FROM WEATHER, PESTS AND OTHER DAMAGE.
- GC TO CAREFULLY REMOVE AND REUSE EXISTING LIGHTNING PROTECTION SYSTEM. THIS INCLUDES AND IS NOT LIMITED TO: RODS, CABLING AND GROUNDING SYSTEM.
- THE CONTRACTOR SHALL NOT PLACE MATERIAL OR PARK VEHICLES OR EQUIPMENT OUTSIDE THE WORK AREAS SHOWN WITHOUT WRITTEN APPROVAL BY THE OWNER.
- CONTRACTOR TO PROVIDE THEIR OWN PORTABLE TOILETS FOR CONTRACTOR AND SUBCONTRACTOR USE; FACILITY TOILETS ARE NOT TO BE USED BY THE CONTRACTOR OR ANY SUBCONTRACTORS.
- ALL MATERIALS AND EQUIPMENT SHALL BE PARKED, STORED AND SECURED WITHIN FENCED AREAS UNLESS ACTIVELY BEING USED IN THE COURSE OF WORK. MATERIAL AND EQUIPMENT SHALL NOT BE STORED OUTSIDE THE DELEGATED WORK ZONE AREAS WITHOUT WRITTEN PERMISSION BY THE TOWN.
- AT NO TIME SHALL EQUIPMENT OR MATERIAL SHALL BE STORED, PARKED, SUPPORTED OR OTHERWISE USED ON EXISTING SIDEWALK OR CONCRETE PATIO.
- CONTRACTOR SHALL SWEEP ALL PUBLIC AREAS BELOW OR ADJACENT TO THE WORK ZONE USING A MAGNET TOOL, BROOMS AND OTHER REQUIRED METHODS TO ENSURE ALL NAILS, SCREWS, DEBRIS, TRASH AND OTHER MATERIAL IS REMOVED AT THE END OF EVERY SHIFT. A THOROUGH CLEANING AT THE END OF THE JOB SHALL BE PERFORMED TO ENSURE NO NAILS, SCREWS, TRASH, DEBRIS OR OTHER OBJECTS REMAIN AFTER THE CONTRACTOR HAS DEMOBILIZED FROM THE SITE.
- THE CONTRACTOR'S WORK ZONE SHALL BE LOCKED AND SECURED AFTER WORK HOURS.
- UP TO HALF OF THE EXISTING PARKING AREA AT PLAN NORTH OF CONTRACTOR WORK ZONE MAY BE UTILIZED AS OVERFLOW PARKING FOR CONTRACTOR STAFF VEHICLES ONLY, IF NEEDED (NO EQUIPMENT OR MATERIALS.) USE OF THIS SPACE MUST BE APPROVED IN ADVANCE BY THE OWNER AND THE CONTRACTOR MUST RELOCATE ANY PARKED VEHICLES FOR EVENTS OR OTHER ACTIVITIES IF REQUESTED BY THE TOWN.
- ANY EQUIPMENT MOVING MATERIALS OR OTHERWISE OPERATING OUTSIDE OF THE FENCED WORK ZONE SHALL BE ESCORTED WITH FLAGGERS AT ALL TIMES FOR THE PROTECTION OF VEHICLES AND PEDESTRIANS.
- ROOF LADDERS TO BE REPLACED IN PHASE 1.

LEGEND

-  PHASE 1 - STANDING SEAM ROOF AND SKYLIGHT
-  PHASE 2 - TPO ROOF
-  BID ALTERNATE 1 - TPO ROOF
-  BID ALTERNATE 2 - SKYLIGHT
-  CONTRACTOR STAGING AREA
-  EXISTING TO REMAIN
-  GRAVEL
-  GRASSY AREA

NOTE: SHOULD BID ALTERNATE 2 - SKYLIGHT BE SELECTED, IT WILL BECOME PHASE 2 AND PHASE 2 - TPO ROOF WILL BECOME PHASE 3.



A2 PHASING PLAN
 SCALE: 1/32" = 1'-0"



IDA LEE ROOF REPLACEMENT

PROJECT ADDRESS: 60 IDA LEE DR NW, LEESBURG, VA 20176

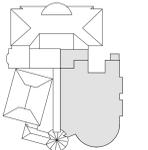
OWNER: TOWN OF LEESBURG

PROJ. NO.: 1821

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KEY PLAN



REVISIONS

MARK	DATE	ISSUE

ISSUANCES

DATE	ISSUANCE
09/20/2019	BID SET

PHASING PLAN

G-101

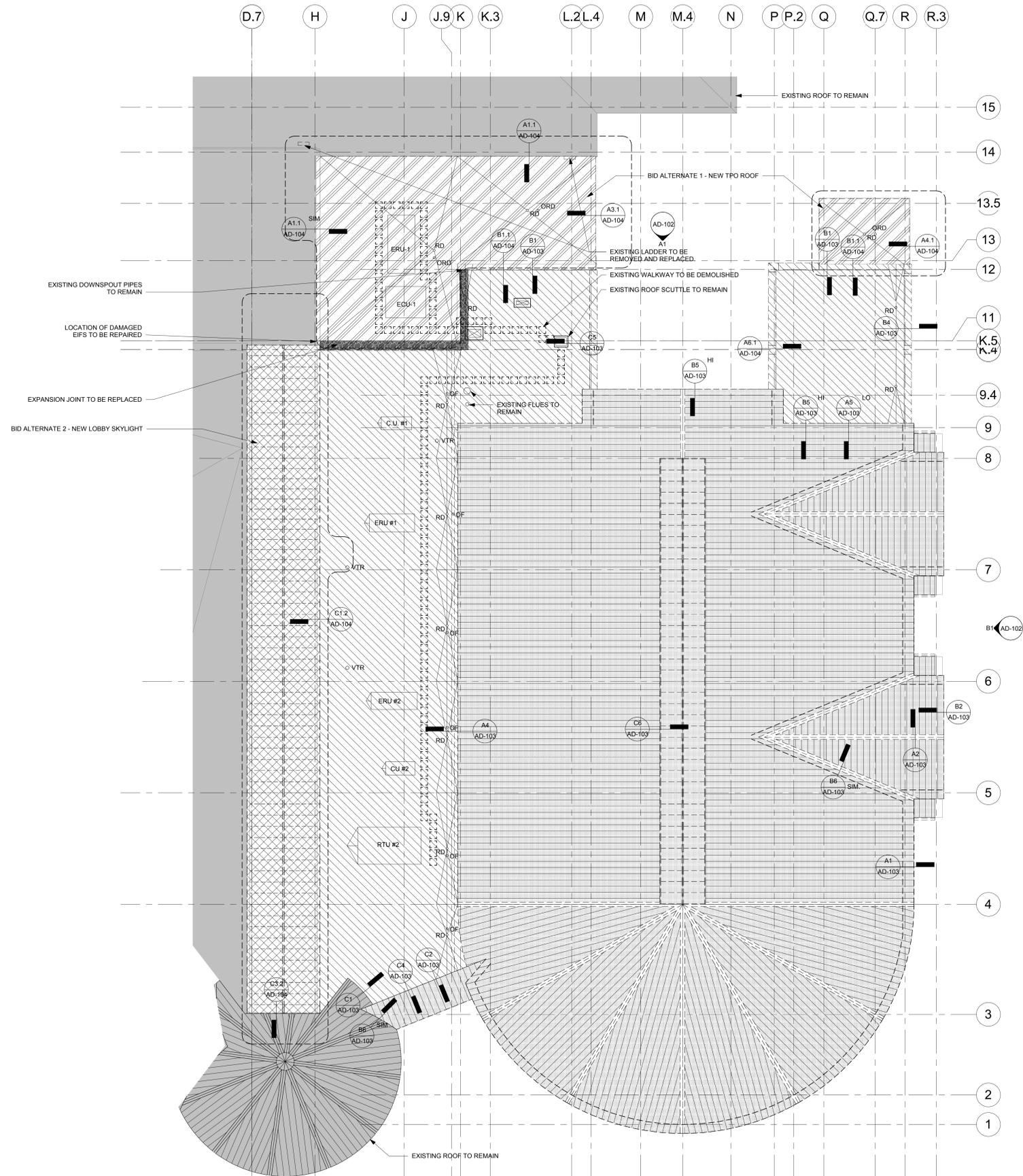
DEMOLITION NOTES

1. ALL ROOF DRAINS, OVERFLOW DRAINS, FLUES, VENTS THROUGH ROOF AND HATCHES TO REMAIN. COORDINATE WITH NEW WORK.
2. ALL HVAC EQUIPMENT TO REMAIN.
3. IN AREAS OF DEMOLITION, ALL EXTERIOR SHEATHING, FIBERBOARD, INSULATION AND/OR WOOD BLOCKING TO BE REMOVED. ALL EXISTING WOOD OR METAL DECKING TO REMAIN.
4. DEMOLISH EXISTING SNOW GUARDS.
5. CONTRACTOR TO INFORM OWNER AND ARCHITECT OF ANY DAMAGED CONDITIONS ON METAL OR WOOD DECK.
6. CONTRACTOR TO INFORM ARCHITECT OF ANY CONDITIONS THAT ARE DIFFERENT THAN THOSE DRAWN.
7. CONTRACTOR TO CONFIRM THAT STRUCTURE OF BALLASTED ROOF IS SLOPING. IF THE STRUCTURE IS NOT SLOPING, CONTRACTOR IS TO INFORM ARCHITECT FOR COORDINATION OF DETAILS.
8. CONTRACTOR REMOVAL OF SKYLIGHTS WITH THE OWNER TO VACATE AREAS WITHIN THE BUILDING BELOW.
9. CONTRACTOR TO REMOVE ALL OLD GROUNDING POSTS, SAW BELOW ROOF LEVEL, SEAL AND CAP.

LEGEND

-  PHASE 1 - STANDING SEAM ROOF AND SKYLIGHT
-  PHASE 2 - TPO ROOF
-  BID ALTERNATE 1 - TPO ROOF
-  BID ALTERNATE 2 - SKYLIGHT
-  EXISTING TO REMAIN

NOTE: SHOULD BID ALTERNATE 2 - SKYLIGHT BE SELECTED, IT WILL BECOME PHASE 2 AND PHASE 2 - TPO ROOF WILL BECOME PHASE 3.



A2 ROOF PLAN - DEMOLITION
 SCALE: 3/32" = 1'-0"

IDA LEE ROOF REPLACEMENT

PROJECT ADDRESS: 60 IDA LEE DR NW, LEESBURG, VA 20176

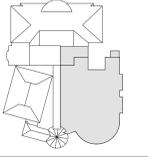
OWNER: TOWN OF LEESBURG

PROJ. NO.: 1821

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KEY PLAN



REVISIONS

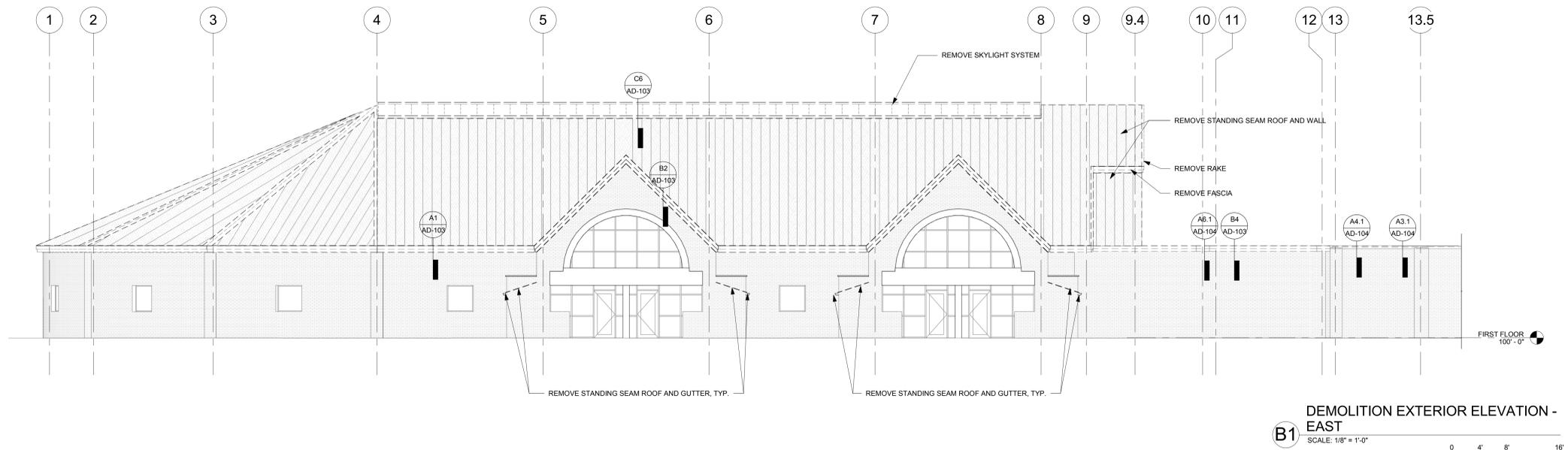
MARK	DATE	ISSUE

ISSUANCES

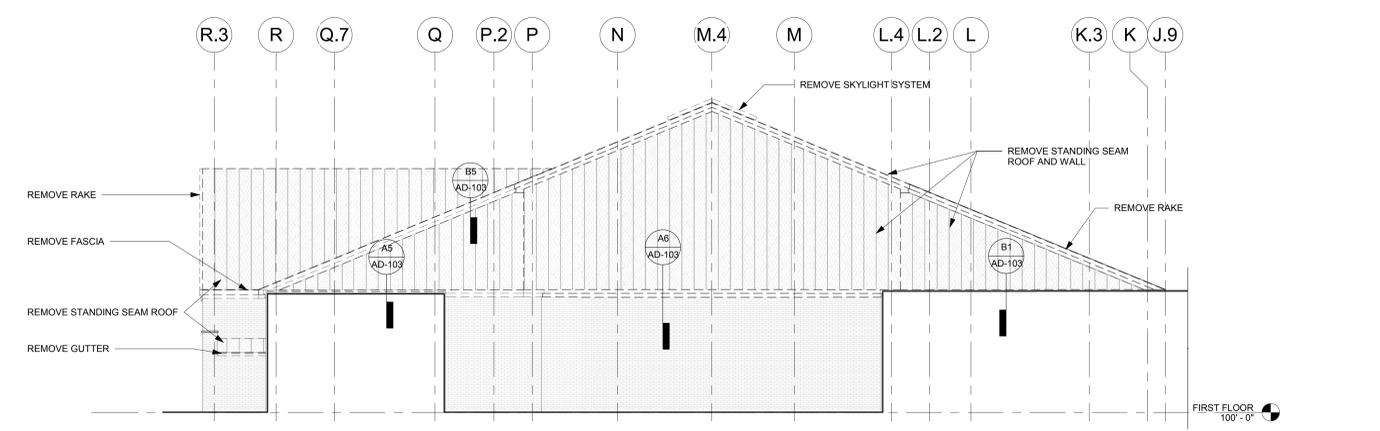
DATE	ISSUANCE
09/20/2019	BID SET

ROOF DEMOLITION PLAN

AD-101



B1 DEMOLITION EXTERIOR ELEVATION - EAST
 SCALE: 1/8" = 1'-0"
 0 4' 8' 16'



A1 DEMOLITION EXTERIOR ELEVATION - NORTH
 SCALE: 1/8" = 1'-0"
 0 4' 8' 16'

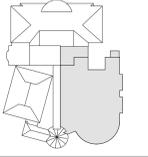
IDA LEE ROOF REPLACEMENT

PROJECT ADDRESS: 60 IDA LEE DR NW, LEESBURG, VA 20176
 OWNER: TOWN OF LEESBURG
 PROJ. NO.: 1821

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KEY PLAN



REVISIONS

MARK	DATE	ISSUE

ISSUANCES

DATE	ISSUANCE
09/20/2019	BID SET

DEMOLITION ELEVATIONS

AD-102

IDA LEE ROOF REPLACEMENT

PROJECT ADDRESS: 60 IDA LEE DR NW, LEESBURG, VA 20176

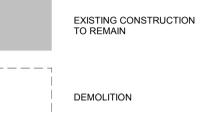
OWNER: TOWN OF LEESBURG

PROJ. NO.: 1821

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KEY PLAN



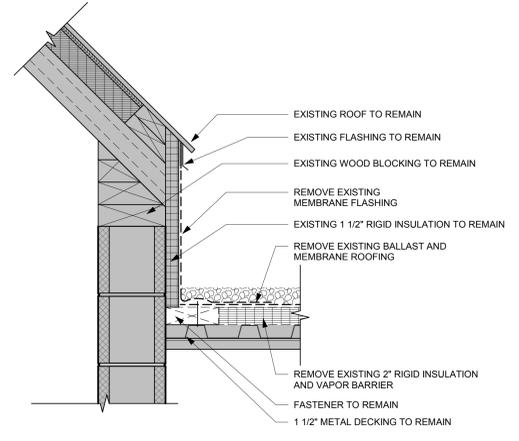
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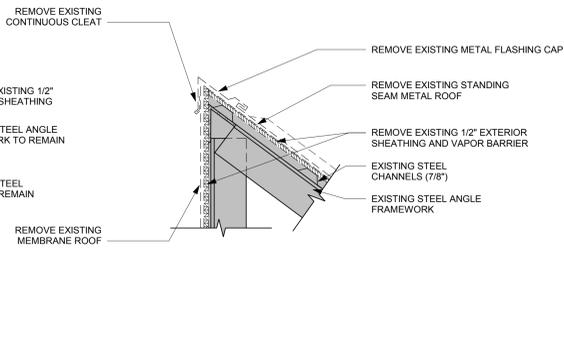
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09/20/2019	BID SET

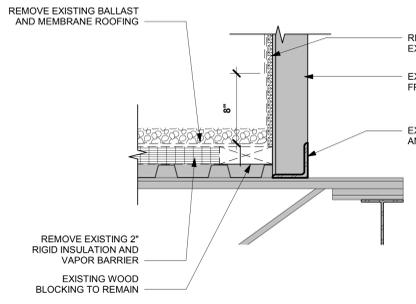
DEMOLITION DETAILS - BASE DESIGN



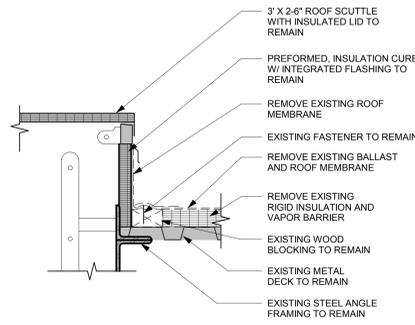
C1 DEMOLITION DETAIL - FLAT ROOF AT METAL ROOF TO REMAIN, TYP.
 SCALE: 1 1/2" = 1'-0"



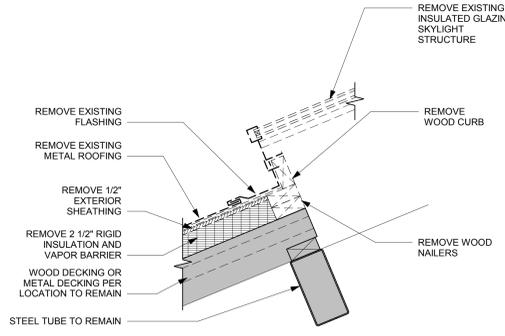
C2 DEMOLITION DETAIL - MANSARD HI
 SCALE: 1 1/2" = 1'-0"



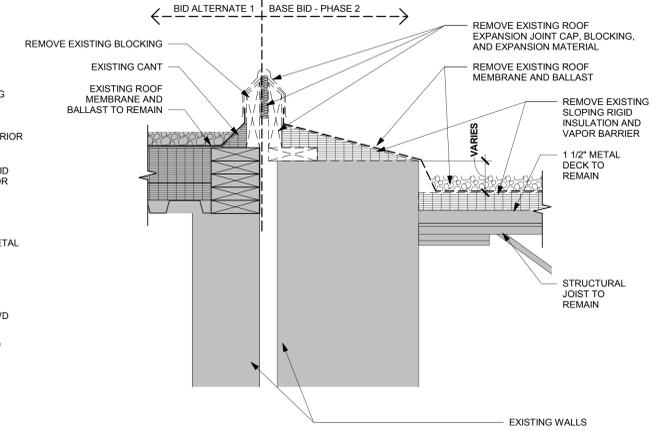
C4 DEMOLITION DETAIL - MANSARD LO
 SCALE: 1 1/2" = 1'-0"



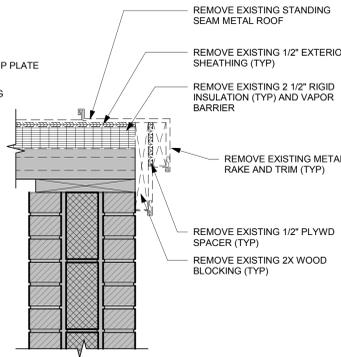
C5 DEMOLITION DETAIL - ROOF SCUTTLE
 SCALE: 1 1/2" = 1'-0"



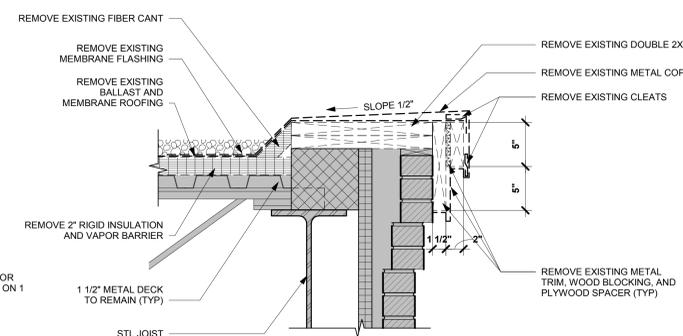
C6 DEMOLITION DETAIL - SKYLIGHTS, TYP.
 SCALE: 1 1/2" = 1'-0"



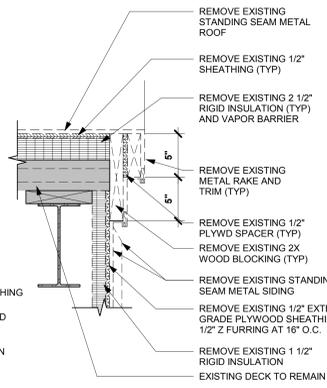
B1 DEMOLITION DETAIL - FLAT ROOF JOINT, TYP.
 SCALE: 1 1/2" = 1'-0"



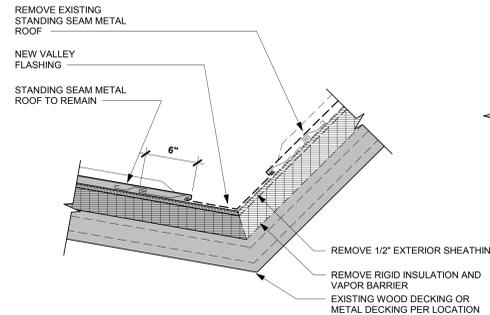
B2 DEMOLITION DETAIL - RAKE, TYP.
 SCALE: 1 1/2" = 1'-0"



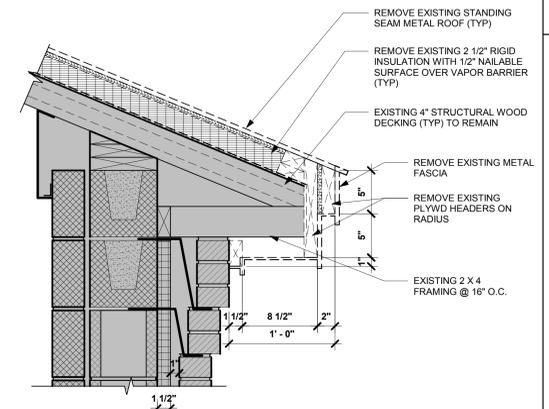
B4 DEMOLITION DETAIL - COPING, TYP.
 SCALE: 1 1/2" = 1'-0"



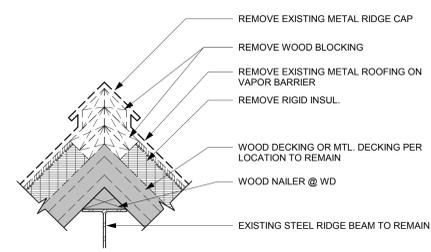
B5 DEMOLITION DETAIL - RAKE, TYP.
 SCALE: 1 1/2" = 1'-0"



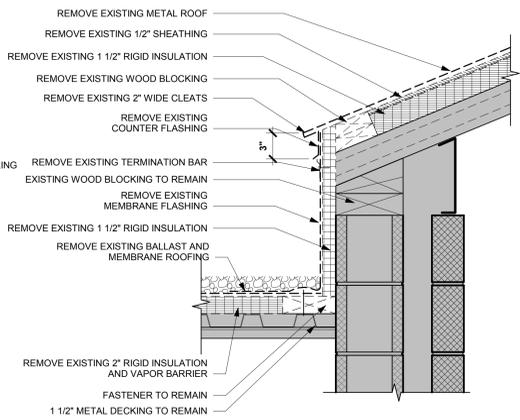
B6 DEMOLITION DETAIL - VALLEY AT EXISTING TO REMAIN ROOF
 SCALE: 1 1/2" = 1'-0"



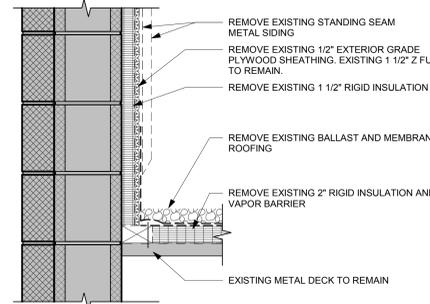
A1 DEMOLITION DETAIL, TYP.
 SCALE: 1 1/2" = 1'-0"



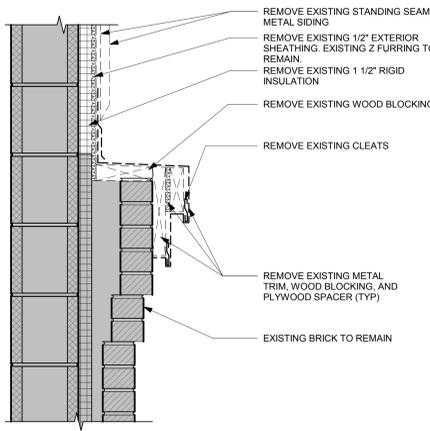
A2 DEMOLITION DETAIL, TYP.
 SCALE: 1 1/2" = 1'-0"



A4 DEMOLITION DETAIL, TYP.
 SCALE: 1 1/2" = 1'-0"



A5 DEMOLITION DETAIL - FLAT ROOF TO METAL SIDING, TYP.
 SCALE: 1 1/2" = 1'-0"



A6 DEMOLITION DETAIL - METAL SIDING MEETS BRICK, TYP.
 SCALE: 1 1/2" = 1'-0"

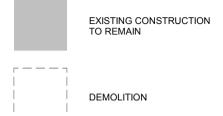
IDA LEE ROOF REPLACEMENT

PROJECT ADDRESS: 60 IDA LEE DR NW, LEESBURG, VA 20176
 OWNER: TOWN OF LEESBURG
 PROJ. NO.: 1821

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KEY PLAN



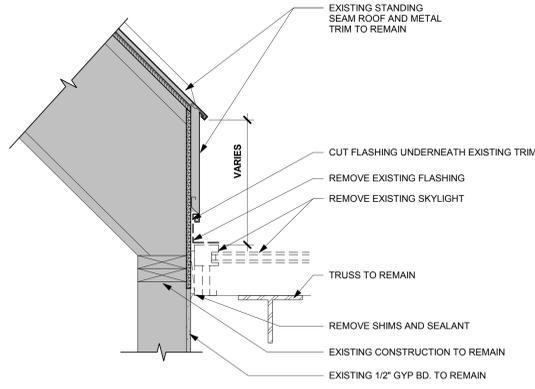
REVISIONS

MARK	DATE	ISSUE

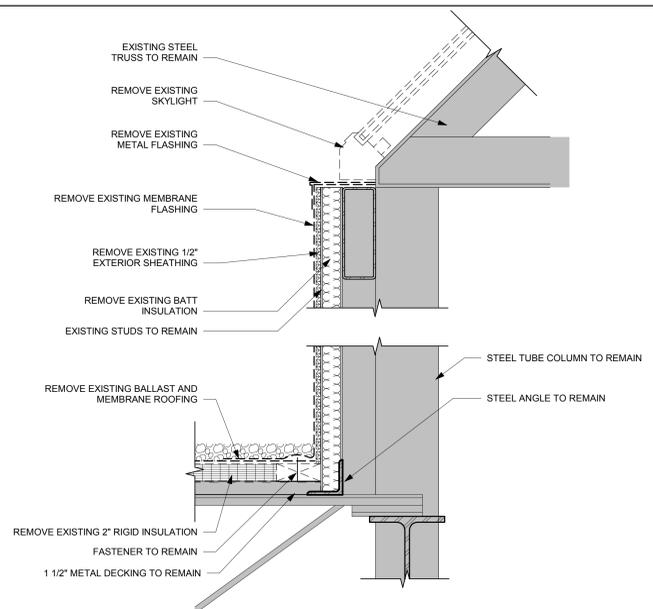
ISSUANCES

DATE	ISSUANCE
09/20/2019	BID SET

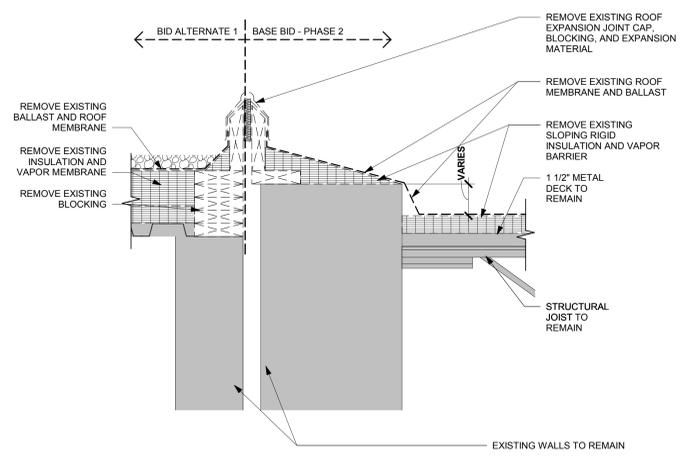
DEMOLITION DETAILS - ADD ALTERNATES



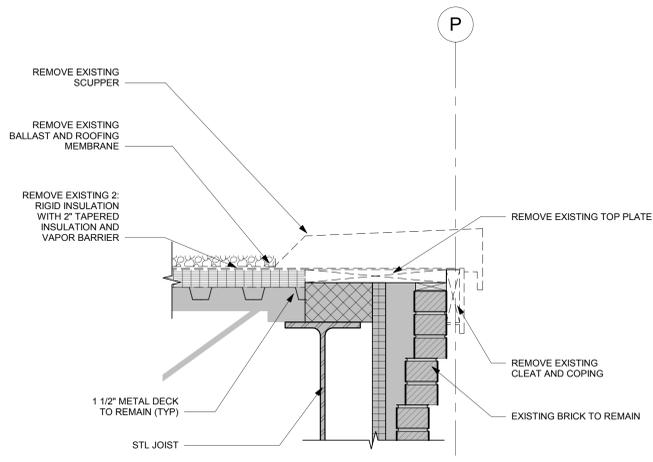
C3.2 DEMOLITION DETAIL - SKYLIGHT AT ROOF TO REMAIN - BID ALT 2
 SCALE: 1 1/2" = 1'-0"



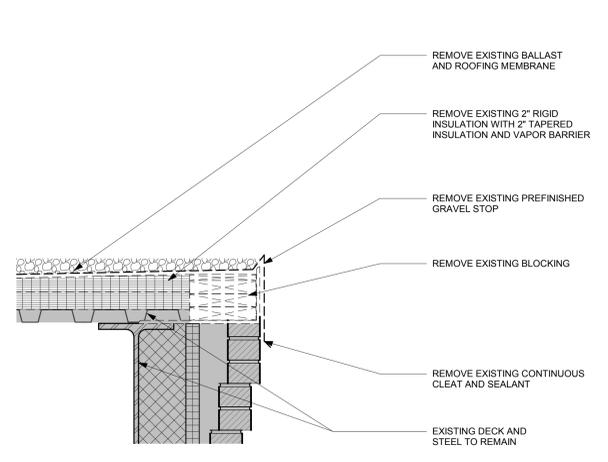
C1.2 DEMOLITION DETAIL - SKYLIGHT - BID ALT
 SCALE: 1 1/2" = 1'-0"



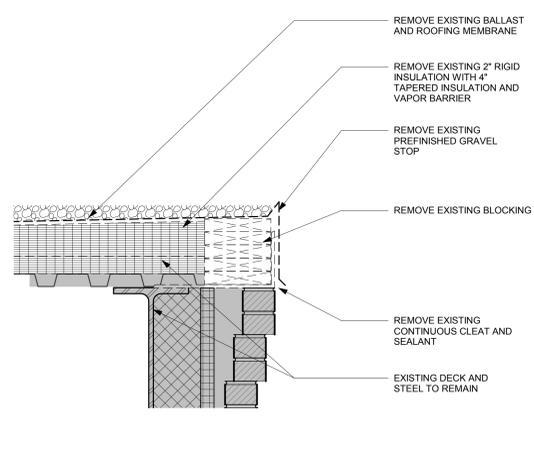
B1.1 DEMOLITION DETAIL - FLAT ROOF JOINT - BID ALT 1
 SCALE: 1 1/2" = 1'-0"



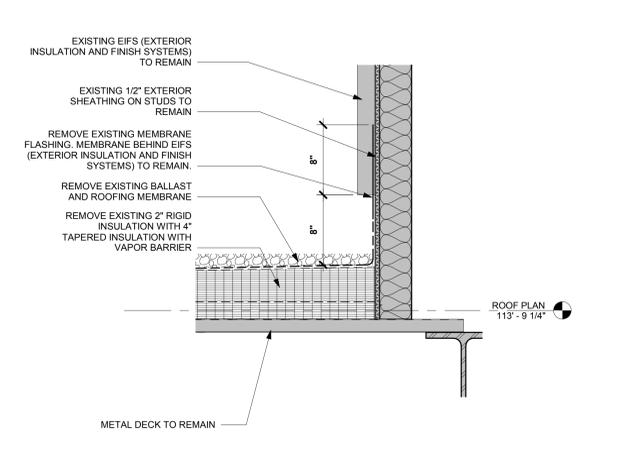
A6.1 DETAIL - SCUPPER, DEMO
 SCALE: 1 1/2" = 1'-0"



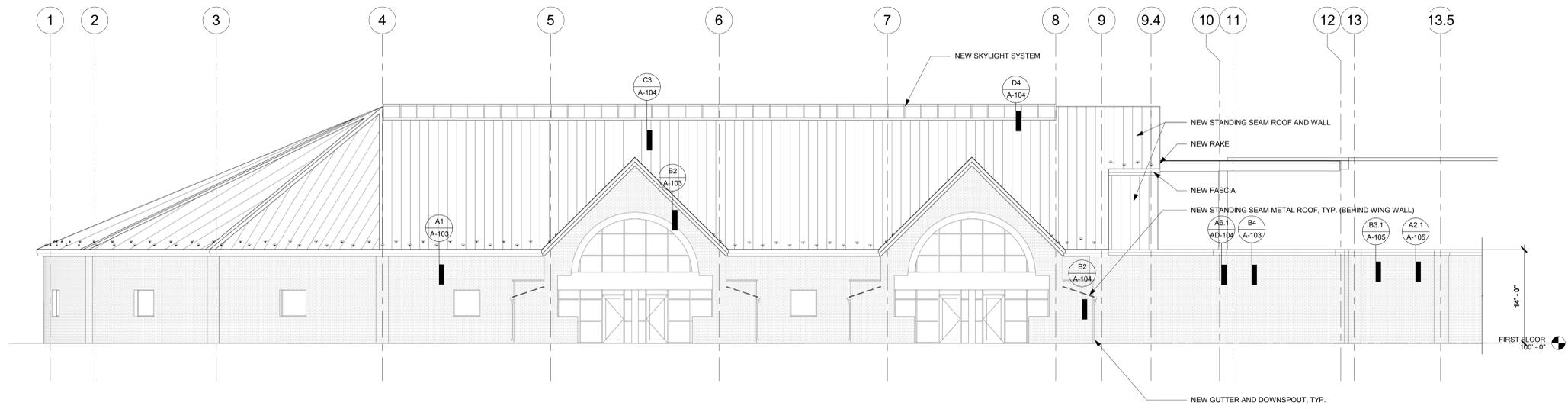
A4.1 DEMOLITION DETAIL - COVE - BID ALT 1
 SCALE: 1 1/2" = 1'-0"



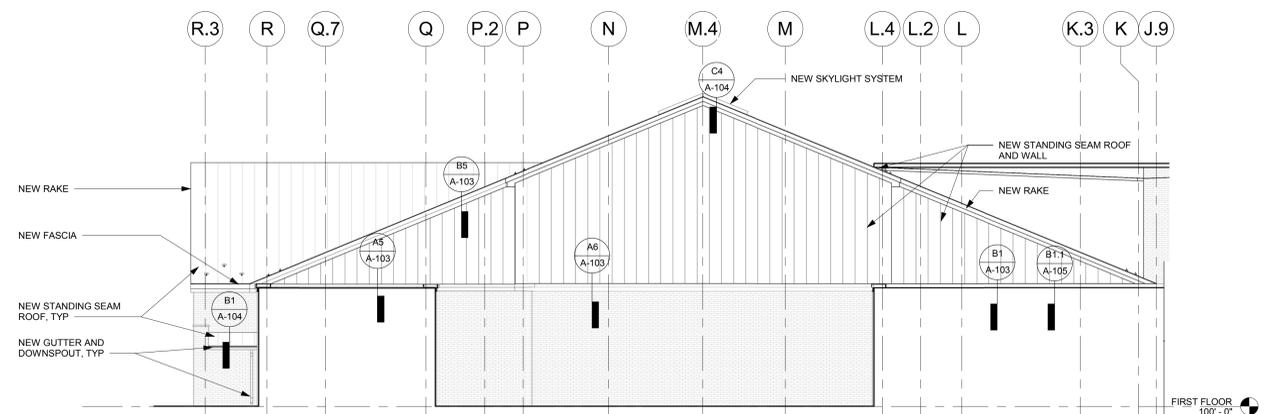
A3.1 DEMOLITION DETAIL - COVE - BID ALT 1
 SCALE: 1 1/2" = 1'-0"



A1.1 DEMOLITION DETAIL - BID ALT 1
 SCALE: 1 1/2" = 1'-0"



B1 EXTERIOR ELEVATION - EAST
 SCALE: 1/8" = 1'-0"
 0 4' 8' 16'



A1 EXTERIOR ELEVATION - NORTH
 SCALE: 1/8" = 1'-0"
 0 4' 8' 16'

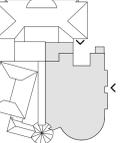
IDA LEE ROOF REPLACEMENT

PROJECT ADDRESS: 60 IDA LEE DR NW, LEESBURG, VA 20176
 OWNER: TOWN OF LEESBURG
 PROJ. NO.: 1821

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KEY PLAN



REVISIONS

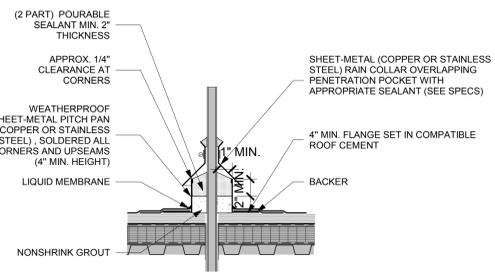
MARK	DATE	ISSUE

ISSUANCES

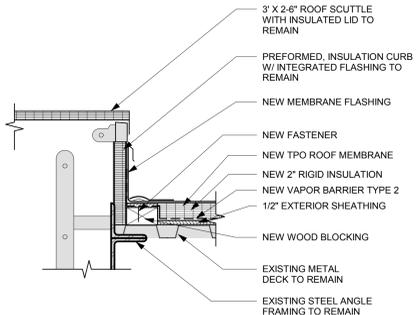
DATE	ISSUANCE
09/20/2019	BID SET

ELEVATIONS

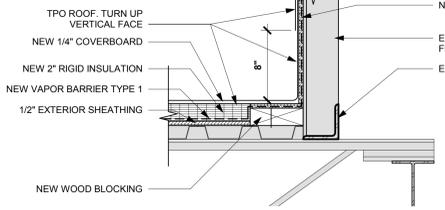
A-102



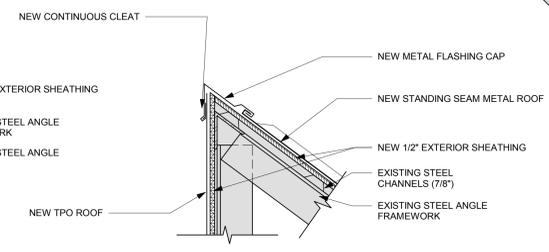
C6 PENETRATION POCKET
 SCALE: 1 1/2" = 1'-0"



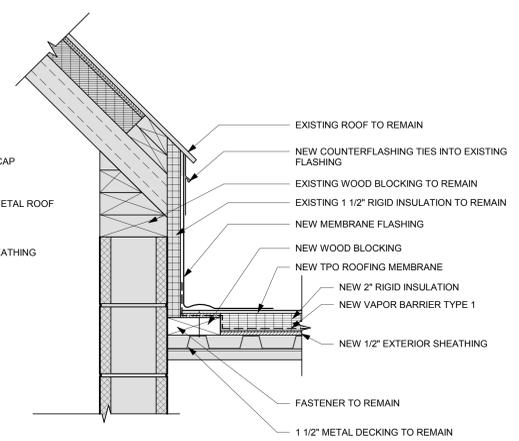
C5 DETAIL - ROOF SCUTTLE
 SCALE: 1 1/2" = 1'-0"



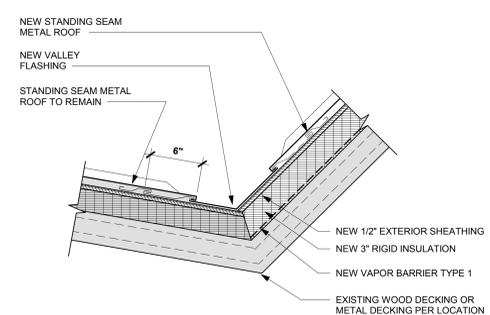
C4 DETAIL - MANSARD LO
 SCALE: 1 1/2" = 1'-0"



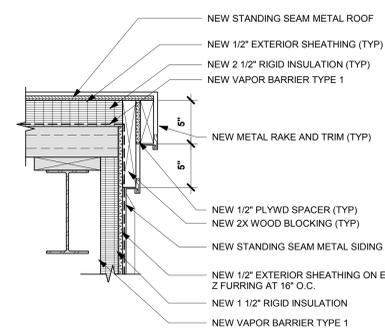
C2 DETAIL - MANSARD HI
 SCALE: 1 1/2" = 1'-0"



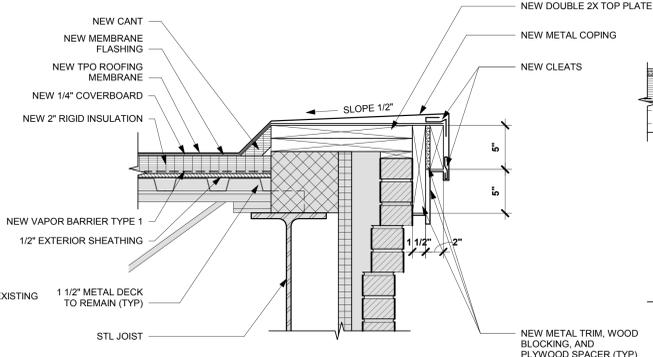
C1 DETAIL - FLAT ROOF AT METAL ROOF TO REMAIN, TYP.
 SCALE: 1 1/2" = 1'-0"



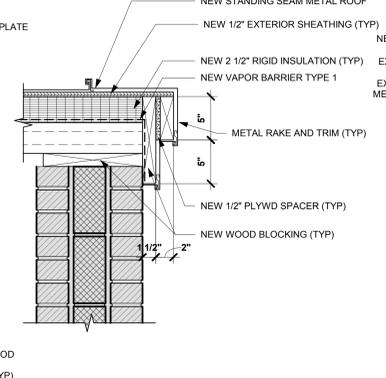
B6 DETAIL - VALLEY AT EXISTING TO REMAIN ROOF
 SCALE: 1 1/2" = 1'-0"



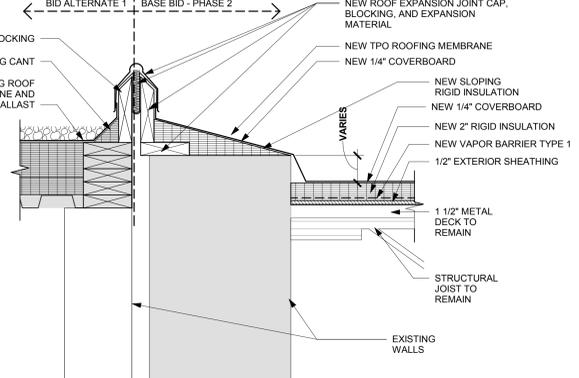
B5 DETAIL - RAKE, TYP.
 SCALE: 1 1/2" = 1'-0"



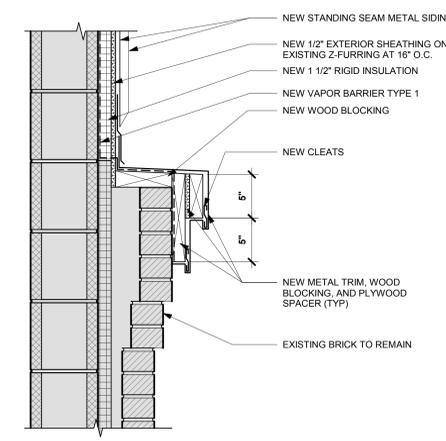
B4 DETAIL - COPING, TYP.
 SCALE: 1 1/2" = 1'-0"



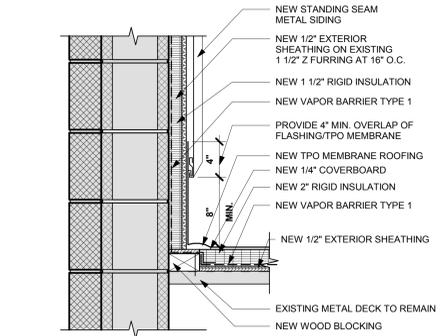
B2 DETAIL - RAKE, TYP.
 SCALE: 1 1/2" = 1'-0"



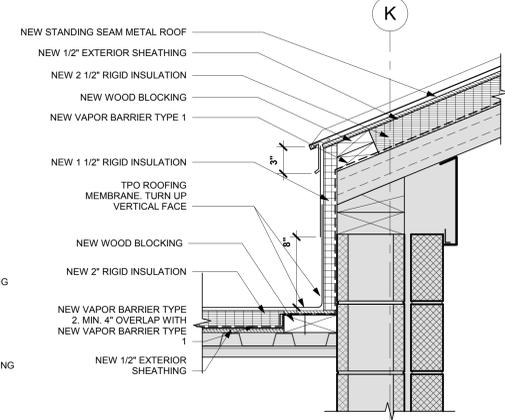
B1 DETAIL - FLAT ROOF EXPANSION JOINT, TYP.
 SCALE: 1 1/2" = 1'-0"



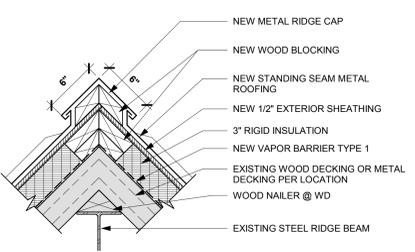
A6 DETAIL - METAL SIDING MEETS BRICK, TYP.
 SCALE: 1 1/2" = 1'-0"



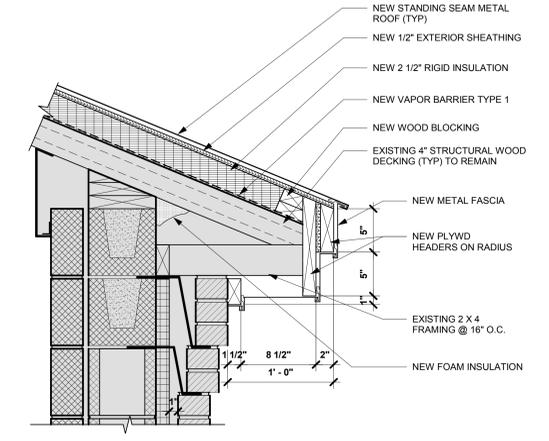
A5 DETAIL - FLAT ROOF TO METAL SIDING, TYP.
 SCALE: 1 1/2" = 1'-0"



A4 DETAIL - FLAT ROOF TO PITCHED ROOF, TYP.
 SCALE: 1 1/2" = 1'-0"



A2 DETAIL - RIDGE, TYP.
 SCALE: 1 1/2" = 1'-0"



A1 DETAIL - EAVE, TYP.
 SCALE: 1 1/2" = 1'-0"

IDA LEE ROOF REPLACEMENT

PROJECT ADDRESS: 60 IDA LEE DR NW, LEESBURG, VA 20176
 OWNER: TOWN OF LEESBURG
 PROJ. NO.: 1821

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KEY PLAN
 EXISTING CONSTRUCTION TO REMAIN
 NEW WORK

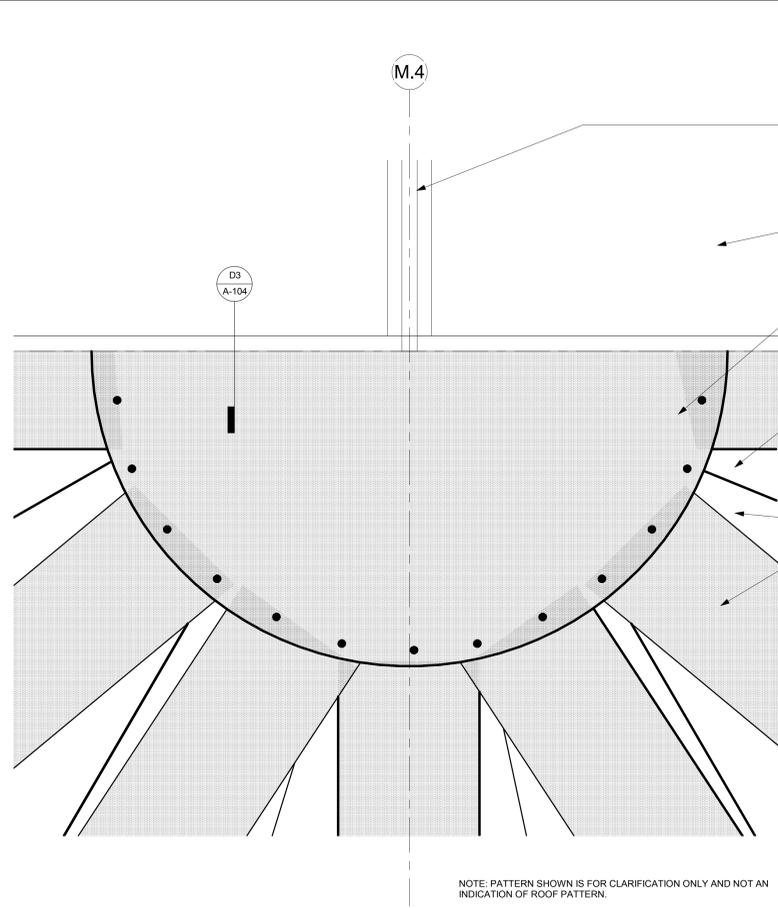
REVISIONS

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ISSUANCES

DATE	ISSUANCE
09/20/2019	BID SET

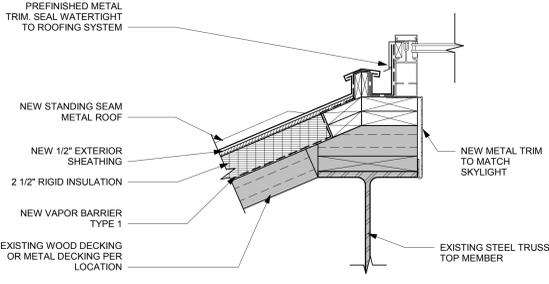
DETAILS - BASE DESIGN



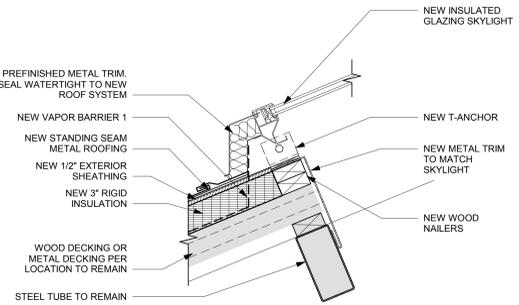
C5 DETAIL - ROOF PEAK PLAN
 SCALE: 1 1/2" = 1'-0"

D4 DETAIL - SKYLIGHT RAFTER, TYP.
 SCALE: 1 1/2" = 1'-0"

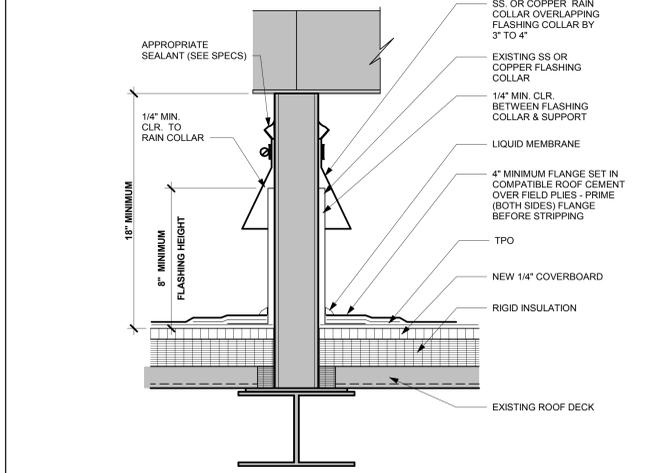
C4 DETAIL - SKYLIGHT MULLION, TYP.
 SCALE: 1 1/2" = 1'-0"



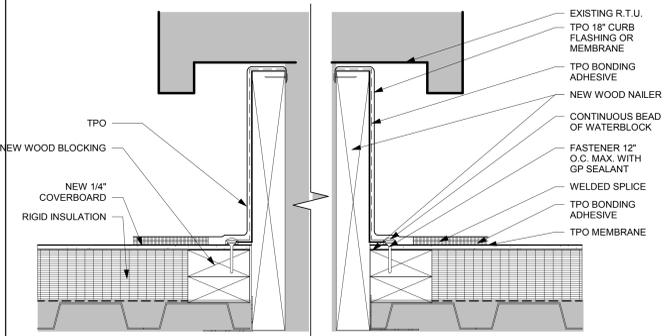
D3 DETAIL - SKYLIGHT JAMB DETAIL
 SCALE: 1 1/2" = 1'-0"



C3 DETAIL - SKYLIGHT SILL, TYP.
 SCALE: 1 1/2" = 1'-0"

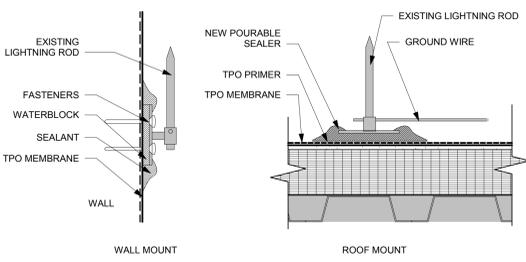


D1 EQUIPMENT COLLAR
 SCALE: 3" = 1'-0"

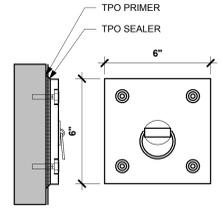


C1 EQUIPMENT CURB SUPPORTS
 SCALE: 3" = 1'-0"

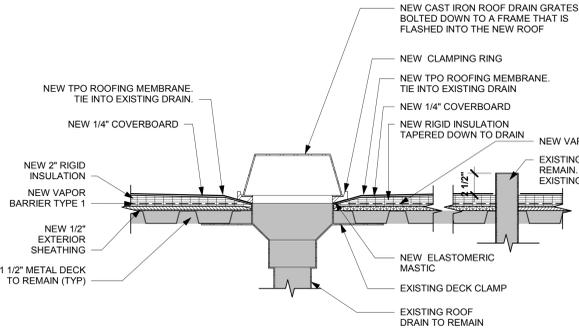
NOTES: WHEN POSSIBLE, THE MECHANICAL UNITS SHOULD NOT BE SET UNTIL THE ROOF MEMBRANE AND FLASHING HAVE BEEN INSTALLED.



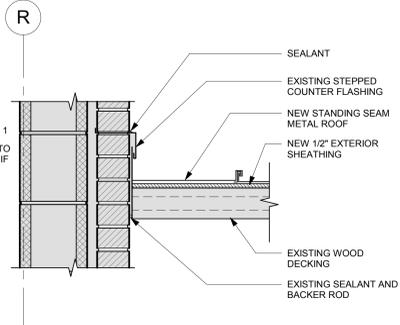
B6 LIGHTNING ROD
 SCALE: 3" = 1'-0"



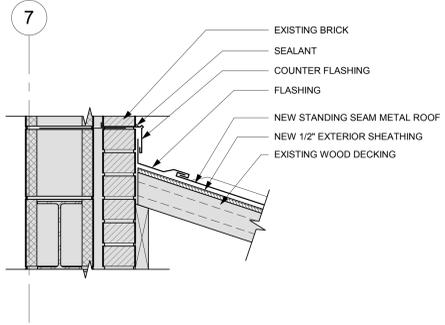
B5 ANCHOR POINT
 SCALE: 3" = 1'-0"



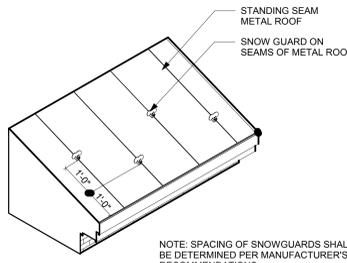
B3 DETAIL - ROOF DRAIN, TYP.
 SCALE: 1 1/2" = 1'-0"



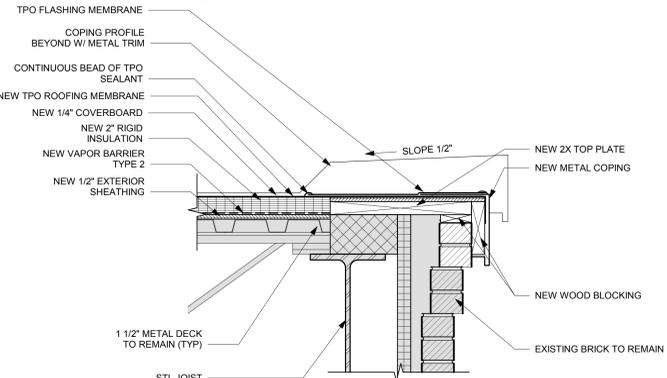
B2 DETAIL - LOW ROOF, TYP.
 SCALE: 1 1/2" = 1'-0"



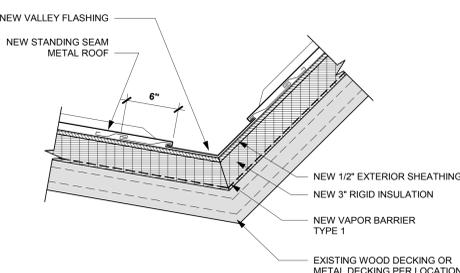
B1 DETAIL - LOW ROOF, TYP.
 SCALE: 1 1/2" = 1'-0"



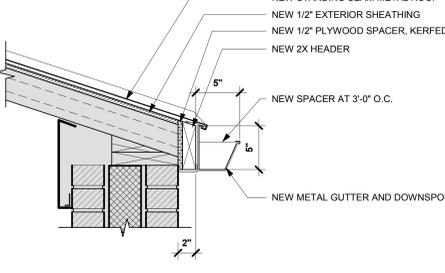
A6 SNOW GUARD AXONOMETRIC
 SCALE:



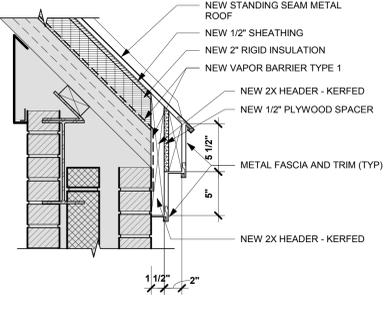
A5 DETAIL - SCUPPER, TYP.
 SCALE: 1 1/2" = 1'-0"



A3 DETAIL - VALLEY, TYP.
 SCALE: 1 1/2" = 1'-0"



A2 DETAIL - EAVE AT LOW ROOF, TYP.
 SCALE: 1 1/2" = 1'-0"



A1 DETAIL - EAVE, TYP.
 SCALE: 1 1/2" = 1'-0"

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KEY PLAN
 [Grey Box] EXISTING CONSTRUCTION TO REMAIN
 [White Box] NEW WORK

REVISIONS

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DATE	ISSUANCE
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DETAILS - BASE DESIGN

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KEY PLAN
 EXISTING CONSTRUCTION TO REMAIN
 NEW WORK

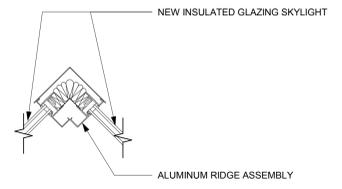
REVISIONS

MARK	DATE	ISSUE

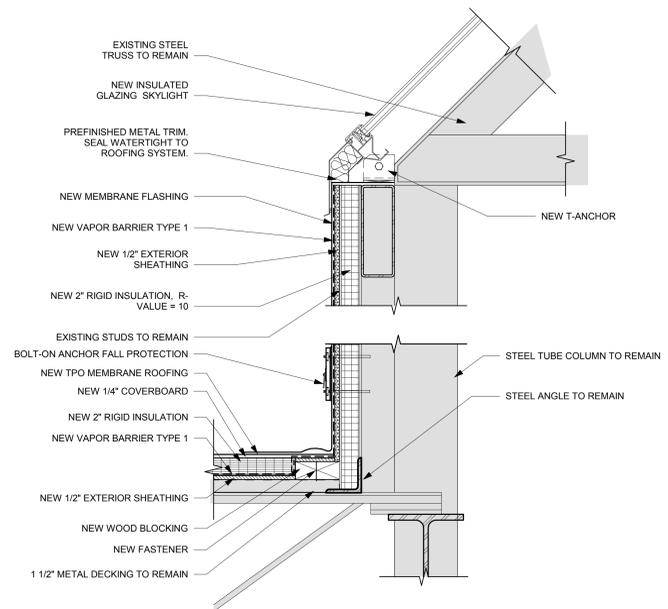
ISSUANCES

DATE	ISSUANCE
09/20/2019	BID SET

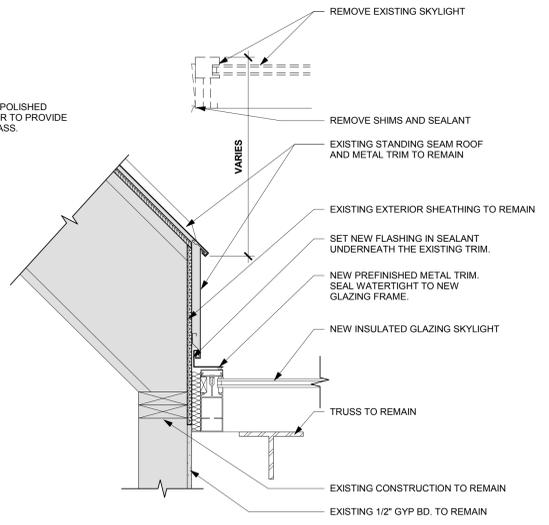
DETAILS - BASE DESIGN AND BID ALTERNATES



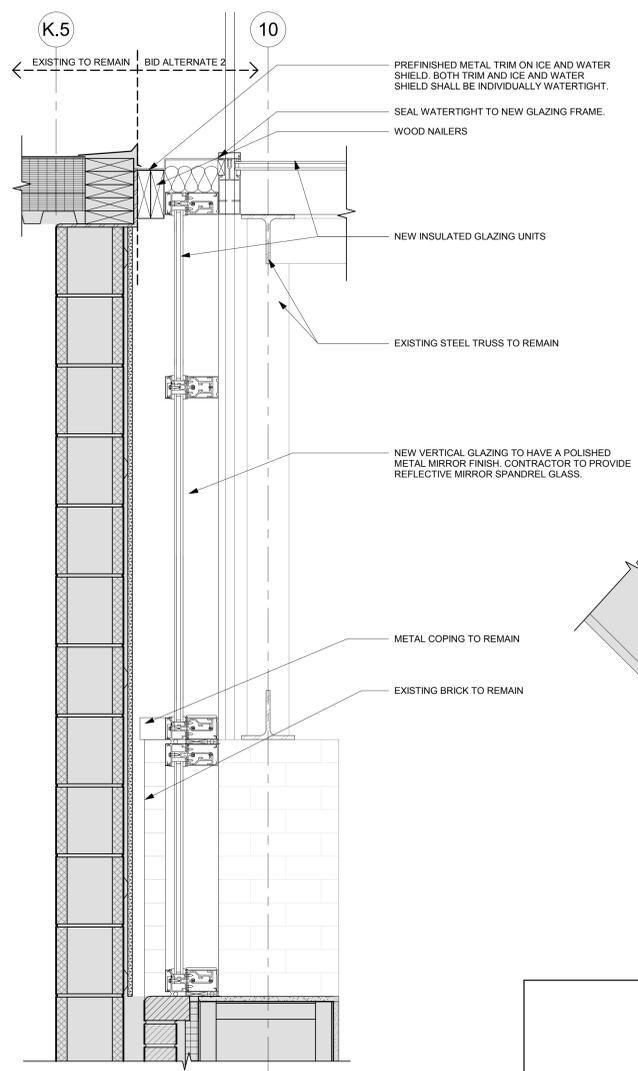
D1.2 DETAIL - SKYLIGHT RIDGE - BID ALT 2
 SCALE: 1 1/2" = 1'-0"



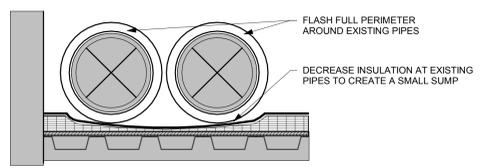
C1.2 DETAIL - SKYLIGHT SILL - BID ALT 2
 SCALE: 1 1/2" = 1'-0"



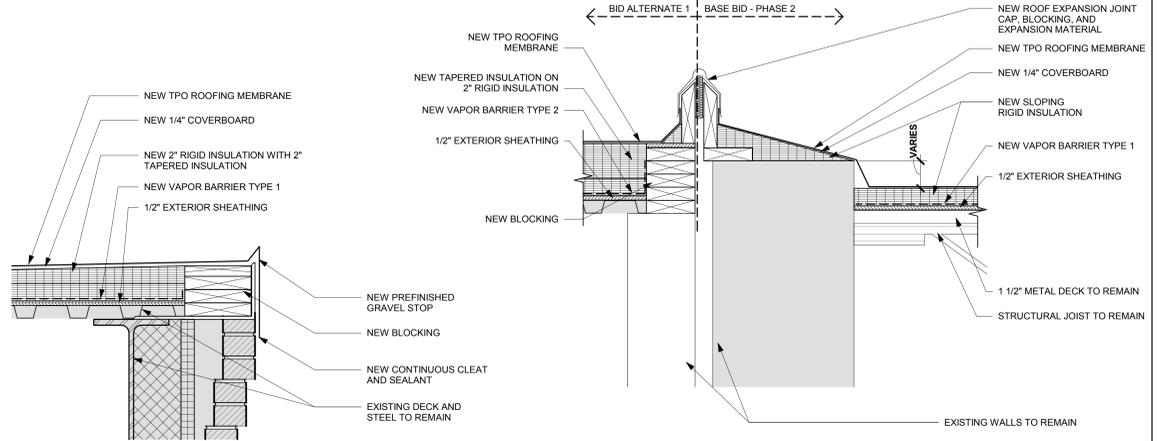
C3.2 DETAIL - SKYLIGHT AT ROOF TO REMAIN - BID ALT 2
 SCALE: 1 1/2" = 1'-0"



B4.2 DETAIL - SKYLIGHT VERTICAL GABLE - BID ALT 2
 SCALE: 1 1/2" = 1'-0"

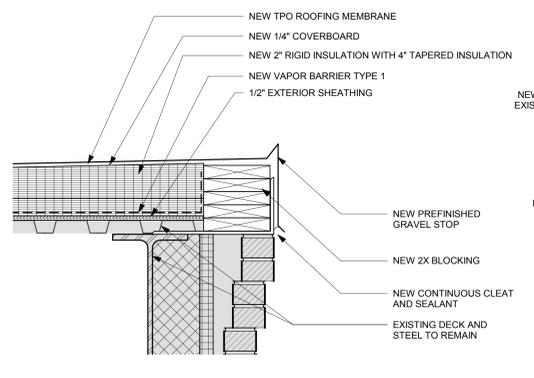


B4.1 DOWNSPOUTS TO LOWER ROOF
 SCALE: 1 1/2" = 1'-0"

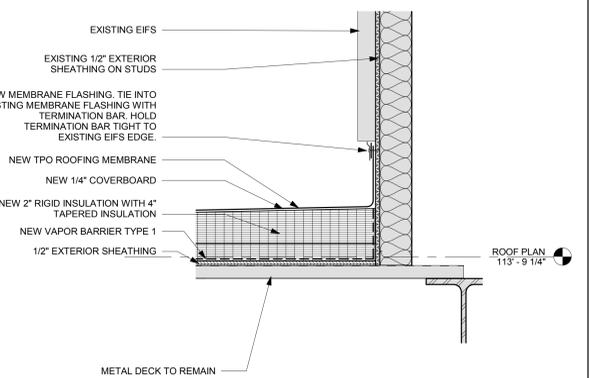


B1.1 DETAIL - FLAT ROOF JOINT - BID ALT 1
 SCALE: 1 1/2" = 1'-0"

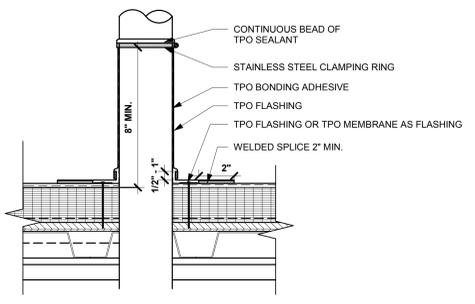
B3.1 DETAIL - COVE - BID ALT 1
 SCALE: 1 1/2" = 1'-0"



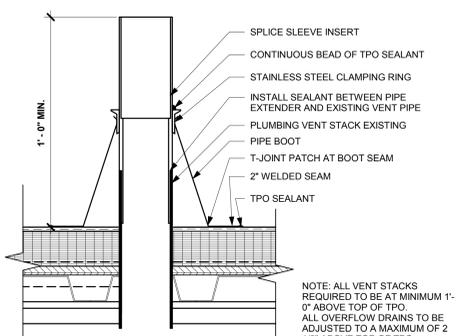
A2.1 DETAIL - COVE - BID ALT 1
 SCALE: 1 1/2" = 1'-0"



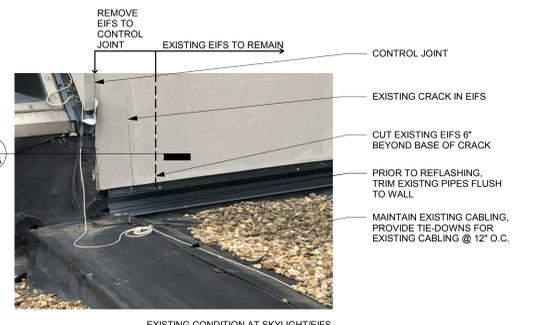
A1.1 DETAIL - BID ALT 1
 SCALE: 1 1/2" = 1'-0"



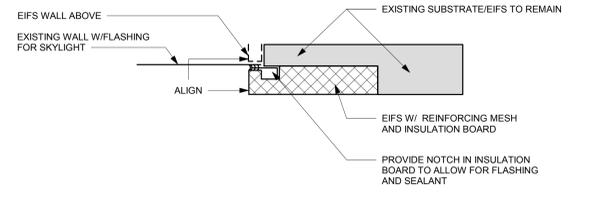
D6 FLASHING AT PENETRATIONS - TPO ROOF
 SCALE: 3" = 1'-0"



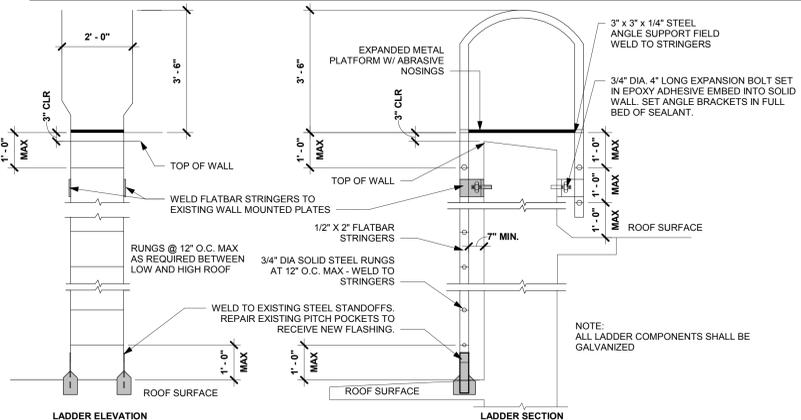
C6 PIPE VENT EXTENDER
 SCALE: 3" = 1'-0"



B6 DETAIL AT SKYLIGHT/EIFS
 SCALE: 3/8" = 1'-0"



A6 SECTION AT SKYLIGHT/EIFS
 SCALE: 3/8" = 1'-0"



A4 ROOF LADDER
 SCALE: 1/2" = 1'-0"